



D/DRC Case

1200 Main Street

National Register Structure

TMS# 09013-07-08

DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC AGENDA
EVALUATION SHEET
Case # 3

ADDRESS: 1200/1202 Main Street

APPLICANT: Rick Patel, owner

TAX MAP REFERENCE: 09013-07-08

USE OF PROPERTY: Commercial

REVIEW DISTRICT: National Register structure

NATURE OF REQUEST: Request for preliminary certification for the Bailey Bill

FINDINGS/COMMENTS:

This property, also known as Number One Main, is situated at the intersection of Main and Gervais Streets, directly across from the Statehouse. Designed by William Augustus Edwards and constructed in 1912-1913, it was built to house the young Union National Bank with speculative office space on the upper floors. With a rather small footprint but eleven stories, this slender and once delicately detailed building was one of the three early skyscrapers in Columbia (the Palmetto Building and the Barringer Building are the others). As originally constructed, the building was a steel and reinforced concrete structure with an exterior of elaborate terra cotta panels and 1/1 wood windows. Early alterations included the removal of the original windows on the primary elevations, but the most significant changes came in the 1960s when greenish glass panels were installed over the terra cotta on both the Main and Gervais Street elevations, presumably to update the architecture. This sleeker, more modern look to the building was a strong contrast to its original ornate historic character.

The current owners plan to retrofit the building as a hotel and have already removed the glass panels in order to bring back the original architecture of the building as much as possible. Underneath the glass, the terra cotta panels largely remain, although their sills were removed when the glass panels were installed. The owner and his team have carefully gone through several explorations with City and SHPO staff to decide the correct repair of the panels and determining what the final materials, finishes, and coloring should be for the infill repair sections. They are also removing replacement windows to install correctly sized windows for the original openings.

The owners are also proposing a rooftop bar and have constructed a frame outlining the structure to demonstrate heights, distance from the edge of the building, etc. Additionally, the building next door, 1202 Main, will be incorporated into the project; the interior wall between 1200 and 1202 Main will be opened to expand the hotel lobby into this space. Also, a new required elevator/stair tower is situated over and at the rear of 1202 Main Street with openings for access punched through at each floor on 1200 Main.

that the applicants are applying for state and federal tax credits and that application is used here in place of the Bailey Bill application, a standard practice when multiple tax incentives are sought. Staff is recommending conditional approval with details deferred to staff.

*Please note the full set of plans that were submitted were too large to fully include here, so staff has removed parts of the plans that were duplicative (floor plans) or that fall outside of DDRC purview (electrical, etc). Staff can provide access to a full plan set upon request.

PERTINENT SECTIONS FROM THE GUIDELINES:

Sec. 17-2.5(y) Bailey Bill – Special Tax Assessment Created

a. Standards for rehabilitation work:

(i) *The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.*

The intent is to return the building to its historic appearance.

- During the 1960s, the building's Main and Gervais Street elevations were essentially covered in glass panels in an attempt to modernize the exterior. These glass panels are not historic and have been/are in the process of being removed to reveal what is left of the original terra cotta. The original terra cotta will be repaired as needed.
- A new elevator/stair tower is required and will be built at the rear of 1202 Main as mentioned above. The new stair tower will essentially eliminate five bays of windows and their openings on eight floors; however, given 1200 Main's small footprint and the fact that it sits at the property line, the position of the stair tower is placed about as well as it can be. Likewise, this side of the building was not clad in terra cotta and was designed with less intent to impress and with a more utilitarian approach.

(ii) *Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.*

Plans are to bring the building back to its original configuration and architecture as possible. Most of the repair work on the terra cotta will duplicate original patterns where they are still intact and can be referenced for accuracy. There is a distinctive row of arched panels over the first floor/mezzanine windows which were covered in glass panels as well during the renovation. When one of the glass panels was recently removed, it revealed a badly damaged terra cotta panel, and it is likely that the rest of the terra cotta under these arches are in similar condition. If so, staff will work with the development team and the SHPO staff to develop an approach to the panels which is compatible but cannot be mistaken as original to the building. If the rest of the arched panels show intact terra cotta, it is likely that that pattern can be replicated for the damaged panels.

(iii) *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

During the 1960s, the building's Main and Gervais Street elevations were essentially covered in glass panels in an attempt to modernize the exterior. These glass panels are not historic and have not acquired historic significance in their own right. As such, these panels have been/are in the process of being removed to reveal what is left of the original terra cotta.

(iv) *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.*

Where existing terra cotta panels/detailing exist, they will be retained. The terra cotta columns that vertically bisect the windows, and the terra cotta pilasters, have been painted at some point in time. It has been determined that removing the paint will damage the terra cotta further so the plan is to paint them to match the original finish on the unpainted terra cotta panels. Staff has been working on a color match with the applicants.

(v) Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Fortunately, enough of the original terra cotta remains to allow for accurate reconstruction of missing elements with the exception of the arched panels, mentioned earlier. These will be handled with compatible yet distinct designs if not enough remains of the originals to duplicate. New sills to the existing panels will be made of concrete but will mimic the finish qualities of the terra cotta. Specification/drawings showing the profiles, installation methods, and materials of the infill pieces will be required but can be handled at staff level.

Original windows on the west and south elevations were removed in the 1960s and replaced with shorter windows which accommodated the glass panels. With the removal of the glass panels, new 1/1 clad wood windows will be installed and will be inset, sized, and detailed to reflect the original windows. While storefront doors are shown in the plans, the description of the proposed doors in the Part 2 document submitted discuss doors with a historic appearance in a few locations on the building. This is a detail that staff can work with the applicants on.

(vi) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

After some testing, the development team and their contractors have determined the most effective cleaning of the original terra cotta is simply to wipe it clean using non-ionic soap and a natural bristle brush or sponge.

(vii) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.

- Stair elevator tower:

A new stair/elevator tower is required to meet building codes. Given that 1200 Main is built to its property lines and has a quite small footprint, the tower is actually being built over the rear of 1202 Main Street, tucking into the 'L' of 1200 Main and attaching to its north wall. Visibility and several bays of windows/openings along the north elevation of 1200 Main will be lost to accommodate the stair tower, but this is not on a primary elevation and the location minimizes the visual and physical impact of the circulation tower.

- Rooftop bar:

A rooftop bar is proposed. DDRC approvals for rooftop bars in the past have been based upon their placement on the roof, requiring that they are not visible or are very minimally visible from public right-of-ways. Otherwise, when too visible, they

can affect the character of the building by concentrating focus on architecture distinct from the historic building or by changing the perceived massing of the building. Limiting their visibility is generally achieved by moving an addition to the center of a large roof expanse well away from the building edge or it might be naturally achieved when a rooftop addition is camouflaged by its own building's height and/or that of surrounding tall buildings. Since 1200 Main enjoys a prominent corner without competing adjacent buildings, large sections of the roof are visible from Gervais Street in the Vista, on the Statehouse grounds, and at various locations on the blocks surrounding the building (photographs in packet, see pages 105-113 of document). The building footprint, and thus the roof, is quite small. Also, there is an existing elevator machine room, stair well, and a room which housed a water tank on the roof.

The proposed bar is set back a few feet from the west elevation (Main) and curves around (to minimize its presence) to the south elevation (Gervais), also a few feet from the building edge, and concludes with a new wall flush with the east wall of the building. The bar would have a white smooth stucco finish to match the building, a flat roof, and windows. A 6' tall glass railing would be attached to the inner parapet.

Based upon the mock-ups, staff estimates that perhaps one-half to one-third of the building will be visible, depending on the vantage point, more than what has been approvable in the past. Staff would recommend pulling the bar in more from all edges of the building and working on methods to make the rooftop bar more transparent. While the use of stucco visually references the original building, the use of more glass or a more open-air approach would help to minimize its presence. Generally streamlining the building more, such as combining windows to create larger voids (and reducing solid building material), minimizing or eliminating grid patterns on glass, and relating rooftop bar elements to the patterns of the building façade below would be recommended, along with pulling the bar in from the edges of the building.

(viii) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

- The removal of the circulation tower element is highly unlikely but a section of the north wall and its openings would have to be rebuilt if so; the basic form and integrity of the building would remain, however.
- The proposed rooftop bar could be removed without affecting the form and integrity of the building.

STAFF RECOMMENDATIONS:

Staff finds that the project at 1200 Main Street generally complies with Sec. 17-2.5(y) of the City Ordinance and recommends granting preliminary certification for the Bailey Bill with the following conditions:

- Details of windows, front doors, any canopies to be worked out with staff;

- Shop drawings of the profiles, repair and installation methods for terra cotta panels to come to staff for review and approval;
- Details of terra cotta design in arched openings at mezzanine level to be approved by staff;
- Staff to work with applicants on revised approach to rooftop bar, minimizing its visibility;
- The project meeting or exceeding the 20% investment threshold requirements for qualified rehabilitation expenses for the Bailey Bill;
- All work meeting the standards for work as outlined in Section 17-2.5(y);
- All other details, including signage, deferred to staff.

SUBMITTAL BY APPLICANTS

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

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This sheet: continues Part 1 continues Part 2 amends Part 1 amends Part 2

NPS Project Number _____

Number 1

Architecture Feature: Overall Rehabilitation

Approximate Date of Feature: 1913, later changes

Existing Feature and Condition:

The Union National Bank Building at 1200 Main Street in Columbia, SC is an eleven-story skyscraper with a basement. The building was constructed between 1912-1913 by the Union National Bank on one of the most prominent corners in Columbia, across from the state capital building. The L-shaped building has two main elevations: the west elevation along Main Street and the south elevation along Gervais Street. The secondary massing wraps around the rear of 1202 Main Street. The north elevation shares a party wall on the first three-stories with 1202 Main Street. The east elevation faces a parking lot.

The south and west elevations are designed in the Chicago Style with Gothic Revival terracotta decoration. The base of the building includes the double-height first floor and second floor that historically functioned as a mezzanine. The “column” of the building is eight floors, and the capital is a single story. The west elevation has a central, main entrance. The south elevation has two entrances in the eastern-most bays and a staircase down to a basement entrance. The north and east elevations are simple, stuccoed elevations with a regular fenestration pattern.

The two main building façades were changed between 1962 and 1968 with replacement windows and concrete-and-tile panels over the decorative terracotta. The top floor was left relatively uncovered, though some of the more fragile decorative pieces have been removed. The original terracotta tiles appear to be under most of the applied mid-century panels, but they are in a varying degree of integrity.

The Union Bank Building was the second skyscraper constructed in Columbia and was listed on the National Register under Criterion A: Commerce and Politics/Government and Criterion C: Architecture. The building was a testament to the strength of the banking industry in Columbia at the beginning of the 20th century. The building also took advantage of its location across from the state capital and rented offices to state agencies that the state was not able to house. The building provided much needed office space in downtown Columbia, and its Gothic Revival appearance was chosen to reflect the prosperity of the Union National Bank and Columbia’s importance as a capital city.

Work and Impact on Feature:

The Union National Bank Building will be rehabilitated into a hotel with a focus on restoring the original exterior decorations and the original interior layout of the public spaces. The building currently reflects the c. 1968 changes that covered much of the historic Gothic Revival character of the building. The careful rehabilitation will follow the Secretary of the Interior’s Guidelines for

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This sheet: continues Part 1 continues Part 2 amends Part 1 amends Part 2 NPS Project Number _____

Rehabilitation in order to restore much of the original Gothic Revival feel of the building, which represents an important historic period of skyscraper design in the capital city. The rehabilitation will include 1202 Main Street, as well as an additional stair and elevator tower to the north of the building.

The rehabilitation will also include:

- Restoring and replacing exterior terracotta based on existing precedents
- Restoring windows and exterior doors to historically-compatible versions
- The historic bank lobby will be returned to a Gothic Revival appearance with a two-story lobby
- Historic staircases and elevators will be retained
- Upper floor hallways will be moved back to their original locations
- Historic interior finishes will be retained and restored where possible

The rehabilitation will be completed in one phase. The estimated rehabilitation cost is approximately \$17 million.

Photos: *1200 Main HPCA Part 2 Photos*

Drawings: “Interior and Exterior Improvements to The Historic 1200 and 1202 Main Street”

7-31-2022

Craig Otto Architect, Inc.

All Sheets

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NPS Project Number _____

Number 2

Architecture Feature: Site Work

Approximate Date of Feature: NA

Existing Feature and Condition:

The 1200 Main property boundaries are tight to the building on the west and south elevations. The north elevation shares a party wall with 1202 Main Street.

Work and Impact on Feature:

There is no proposed site work for the building. The property line hugs the building. A backup generator will be placed on an easement to the east of the building.

Photos: *1200 Main HPCA Part 2 Photos*

Images 1, 3-9, 12, 15

Drawings: “Interior and Exterior Improvements to The Historic 1200 and 1202 Main Street”

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NA

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Certification Application

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NPS Project Number _____

Number 3

Architecture Feature: Exterior

Approximate Date of Feature: 1913, c. 1968

Existing Feature and Condition:

The exterior of the Union National Bank Building consists of two main facades along Main Street and Gervais Street. The building was originally finished in 1913, but a c. 1968 rehabilitation covered much of the two facades with concrete and glass panels that obscured the historic decorative elements. The other two elevations are relatively simple but have seen less changes in the past century.

The west and south elevations are divided into three parts: the base of the building, the main intermediary floors, and the “capital.” The base consists of the first floor, second floor, and basement. These floors were constructed to house the Union National Bank and its offices with the main entrance off of Main Street. The middle eight floors held offices rented to a multitude of different businesses, including state offices. The top floor is shorter than the other stories and served as the building’s attic. The three separate decorative features on the south and west elevations are divided by two belt courses.

The west elevation has three bays – a central bay with paired windows, and a bay on either side with a slim 1/1 window. The central first-floor bay has the main entrance into the former bank hall. The south elevation has nine bays – seven larger central bays and a narrow bay on either end. The larger bays have tripartite windows on the first floor and mezzanine, while the upper floors have paired windows. The narrow bays have a single window. The first floor of the south elevation has two entrances at the east end of the elevation. One door leads to the office lobby and the other enters into a small storefront.

Each bay on the south and west elevations is separated by an engaged column faced in glazed terracotta. The terracotta was painted in a matte off-white during a later alteration. The paired windows are separated by a similar glazed terracotta mullion. The top floor has a highly decorated parapet with Gothic Revival features in glazed terracotta. Initial investigative work has uncovered some of the original decorative glazed terracotta tiles that sit between floors and above the mezzanine windows. Early investigative work has shown the terracotta to be in a range of conditions, but a more detailed conditions report will be completed prior to exterior rehabilitation work commencing. The National Register nomination for the Union National Bank Building has a detailed description of the ornamentation (2019).

The east elevation has four bays. The Gothic Revival glazed terracotta wraps around onto the southern bay of the east elevation. The other three bays have basic glazed terracotta tiles covering the first two stories. Each bay has paired 2/2 steel-framed windows. The southern bay has tripartite windows on the first floor and mezzanine with the original decorative frieze separating the windows

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NPS Project Number _____

on the first floor and the arched windows on the second floor. The rest of the elevation is stucco. There is a single door in the northern bay on the first floor. The north elevation consists of the secondary massing of the “L” shape and the main north elevation. The secondary massing has a single bay with a paired window on the north elevation and two bays with single windows on the west elevation. The north and east elevations extend up an additional floor to accommodate the stair access to the rooftop. The north elevation of the primary massing has six bays on the seven visible floors. The western bay has the same decoration as on the west bay with a single window on each level. The corner bay has a paired window and extends up an additional floor to accommodate elevator access to the rooftop. The elevation is covered in stucco. Both the west and north elevations have the original 2/2 steel-framed windows.

Work and Impact on Feature:

Extensive rehabilitation work will be conducted on the exterior of the building. The work will focus on bringing the building back to its original 1912-1913 appearance. This will be achieved with a combination of removal of the current non-historic panels, evaluation of existing terracotta, and replacement decorative panels where necessary.

Windows and doors will be detailed in Feature Number 4.

WEST AND SOUTH ELEVATIONS

Overall Work

- The entire building will be cleaned with the gentlest means possible – warm water and a non-ionic soap with a natural bristle brush or sponge.
- The building – both the terracotta and the brick – will be repainted a color that matches the existing terracotta.
 - Some sample colors have been tested, and SHPO has been sent early test patches to review.
 - The most current color sample, which is the closest match we have been able to achieve, can be seen in *1200 Main HPCA Part 2 Photos* – Image 115 (bottom header portion has been painted to match original terracotta panels).

Floors 1-2

- The first two floors on the west and south elevations will have a replacement terracotta pattern based on the historic precedent.
 - The circa mid-1960s rehab of the building covered these two floors with stucco and panels over portions of the windows and window decoration. The terracotta cannot be salvaged.
 - The replacement decoration will restore the original window sizes and arched decorations on the second-floor windows.

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This sheet: continues Part 1 continues Part 2 amends Part 1 amends Part 2 NPS Project Number _____

- The proposed decorative design is a pared-down version of the original decoration. The design was chosen to honor the historic precedent, while acknowledging that it is replacement ornamentation and not original.
- The proposed design can be found on A2.1.
- The decorative friezes between the windows on the first and second floors will be replaced. They will match the replacement friezes from the upper floors, as seen in historic photographs.
 - The new decorative elements will be completed in a terracotta substitute material.
- First floor windows will be a single pane of glass to match the original design.
- The three eastern tripartite windows on the second floor will have arched windows to match the historic precedent.
 - This difference indicated the location of the mezzanine.

Floors 3-11

- Non-historic panels will be removed, and each existing historic terracotta panel will be investigated for integrity.
 - If more than 25% of a panel cannot be repaired, the panel will be replaced.
 - Salvageable terracotta panels will be gently cleaned. Cleaning will follow [Preservation Brief 7: The Preservation of Historic Glazed Architectural Terra-Cotta](#).
 - The panels will be cleaned with a combination of water and detergent with a natural or nylon bristle brush.
- Existing exposed terracotta pilasters, window dividers, and the eleventh-floor decorative terracotta will be gently cleaned and painted to match the original unpainted terracotta panels.
 - Stripping the paint was determined too detrimental to the integrity of the terracotta panels.
 - Paint color and technique will match those on the replacement panels, and examples photographs will be sent to SHPO for review.
- The decorative terracotta panels between floors will be replaced where necessary.
 - See *HPCA Part 2 Photos* Images 115-119 for sample replacements.
 - The pattern matches the historic precedent and will be made of a substitute terracotta material.
 - Replacements will be painted to match the color of the existing terracotta. Terracotta contractor is currently working on creating the best custom match.
 - Sample photographs are included in the application and updated photographs will be sent to SHPO for review as they become available.
 - All sills need to be replaced. They were removed to accommodate the current, non-historic windows.
 - The new sills will be as minimal as possible to match the historic precedent, but they will need to be slightly larger to accommodate necessary structural reinforcement. This is the least intrusive way to incorporate the structural

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This sheet: continues Part 1 continues Part 2 amends Part 1 amends Part 2 NPS Project Number _____

members and will be a minimally visible difference from the historic precedent.

- The 11th floor terracotta will be preserved and cleaned. Where necessary, the terracotta will be replaced with a historic replica.
 - The terracotta will not be stripped of paint. It will be painted to match the covered historic terracotta.

EAST AND NORTH ELEVATIONS

Minimal work will be completed on the east and north elevations.

East Elevation

- The south bay of the east elevation has historic terracotta glazed tiles that extend across all bays of the first two floors. A previous owner painted the terracotta. The upper floors are painted brick.
- The entire elevation will be cleaned using the gentlest means possible. A mix of water and detergent will be applied with a natural or soft nylon brush.
 - The brick will be repainted in an off-white or other light neutral color to match the original appearance of the building.
 - The terracotta in the southern bay will be painted to match the existing unpainted terracotta on the south elevation.

The north elevation and west elevation of the secondary massing of the L are sheathed in painted brick. The brick will be gently cleaned following method described above. The brick will be repainted in an off-white or other light neutral color to match the original appearance.

Photos: *1200 Main HPCA Part 2 Photos*
Images 1-20

Drawings: “Interior and Exterior Improvements to The Historic 1200 and 1202 Main Street”
7-31-2022 Craig Otto Architect, Inc.
Sheets X2.1 – X2.2, A2.1 – A2.2

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NPS Project Number _____

Number 4

Architecture Feature: New Staircase and Elevator Tower

Approximate Date of Feature: Non-historic

Existing Feature and Condition:

The north elevation and west elevation of the secondary massing of the L share a party-wall with 1202 Main Street up through the third floor. There is no other existing feature concerning the proposed plan below.

Work and Impact on Feature:

The building needs additional stair and elevator access to meet modern building code for fire safety. Due to the small footprint of the building, the proposed design places a new staircase and elevator tower in the corner of the L of the building. It will be within 1202 Main Street on the first three floors.

- The tower will consist of a fire-proof staircase to the west, a central elevator lobby, and the elevator and mechanical room to the east.
- The location of the tower was chosen as the least intrusive option to 1200 Main Street. The building footprint is relatively small per floor, so an addition was preferable and allowed for the restoration of the historic interior layout of 1200 Main Street and the better preservation of historic interior materials. The new tower is placed on secondary elevations, preserving the historic views of the building from Gervais Street.
- The staircase will open directly into 1200 and 1202 Main Street.
- A simple mural will be painted on the new stair and elevator tower.

Photos: *1200 Main HPCA Part 2 Photos*

Image 18

Drawings: “Interior and Exterior Improvements to The Historic 1200 and 1202 Main Street”

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Sheets A2.1 – A2.2, A1.0 – A1.13

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Number 5

Architecture Feature: Windows and Doors

Approximate Date of Feature: 1913, later non-historic replacements

Existing Feature and Condition:

The existing windows and doors are a mix of originals and replacements. During the 1960s rehab, the ceilings were dropped to accommodate new mechanical systems. To hide the dropped ceilings, the windows on the south and west elevations were replaced with shorter windows. The replacement windows are 1/1. The original steel-framed windows still exist on the east and north elevations and are 2/2 windows with wire mesh glass.

The entrances on Main Street and Gervais Street were also changed during the 1960s rehab. The main entrance on the west elevation is the same general historic shape and size with a different infill system, and the arch is taller than the original version. The central door is a deeply recessed arched opening with a glass storefront door system. The double-doors has a transom and two sidelights to fill the opening.

Work and Impact on Feature:

The windows on the south and west elevations will be replaced with a 1/1 window. The windows will be wood clad and dark bronze in color to match the historic precedent. The windows will be restored to their original height, and they will have thick framing as seen in historic photographs. They will also be set into the original location in the opening, which is towards the rear to create a deep inset appearance.

The first and second floor windows on the south and west elevations will have similar framing but will match the historic shape of the openings.

All glass will be LowE 270 #2 or better.

Windows on the east and north elevations will be retained. The windows will be repaired where necessary and repainted. Any replacement glass will match existing.

The west entrance will be a double door with sidelights. The doors will have a large, central window with heavier framing and a kick plate to match the layout seen in historic photographs. The arch will be infilled with a window/decorative panel.

The south elevation will have three entrances.

- The existing basement entrance in the fourth bay will be retained. The staircase will also be retained with a new metal railing at the street level.

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- The metal railing will be in a simple, Gothic Revival style.
 - The basement door will be a simple door.
- The main south entrance into the hotel is in the seventh bay from the west. It was the historic main entrance to the upper floor office lobby.
 - The entrance will have double doors with a thick frame and large kickplate to match the doors on the west elevation.
 - The sidelights and transom will be ... glass or pressed decorative metal panels as seen in historic photos.
- The entrance in the eighth bay will open into the hotel lobby as well.
 - It will match the door in the seventh bay.

The east elevation will have a single door in the existing location (not currently reflected in elevation drawings but is visible in floor plans).

Photos: *1200 Main HPCA Part 2 Photos*

Historic Images D-H
Images 1-20

Drawings: “Interior and Exterior Improvements to The Historic 1200 and 1202 Main Street”

7-31-2022

Craig Otto Architect, Inc.

Sheets A2.1 – A2.2

“Moxy on Main”

All Sheets

SealCraft

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NPS Project Number _____

Number 6

Architecture Feature: Interior

Approximate Date of Feature: 1913, c. 1960s, later changes

Existing Feature and Condition:

The Union Bank Building was most recently used as a news station, restaurant, and offices. The interior had been altered throughout the past century to accommodate new tenants and changes in office space expectations. Historic features still remain, including the general layout of the public spaces and interior finishes. The historic staircase remains, as well as the elevator block. The main staircase for the building is in the north portion of the L of the building. The elevators sit in the corner of the L along the north wall.

The first floor and mezzanine (second floor) originally housed the bank and bank offices. A historic photo shows the space was originally highly decorated in the Gothic Revival style, including stucco friezes and wood ceiling beams. The first floor was most recently divided into three different uses: a local news station, the entrance lobby to the upper floors, and a small restaurant. The studio occupied the six western bays, what was once the primary bank space. The space is relatively open, but the historic bank vault is still located to the west of the elevators along the north wall. The studio has a non-historic acoustical tile dropped ceiling and non-historic vinyl tile flooring.

A previous owner has partially stripped the lobby for the upper floors to show some of the historic materials. The lobby has two elevators at the north wall. There is a staircase in the southwest corner of the lobby that leads to the basement. The stair does not appear to be in the original location, though the features are historic. Many components, especially the structural location, do not appear to be original or have had to be replaced over time. A hallway extends from the northeast corner of the lobby to the main staircase at the rear of the L of the building. The lobby has a mix of finishes, including historic plaster, modern gyp board, and exposed brick walls; a mix of tile, concrete, and terrazzo flooring; and both the original plaster ceiling and dropped acoustical tile. The restaurant in the east portion of the first floor has vinyl flooring and a dropped acoustical tile ceiling.

The basement level is accessed by either the elevator, the interior staircase from the first-floor lobby, and an exterior staircase along the south elevation. The basement has a bar in the west half and a mechanical room in the east half. The flooring throughout the basement is primarily concrete, with what appears to be some historic terrazzo along a presumed historic hallway. The bar has a non-historic acoustical tile ceiling and plywood paneled and gyp-board walls. The mechanical room has painted brick walls and a plaster ceiling.

A mezzanine level (referred to from here on out as the second floor) historically covered the four east bays of the building. The mezzanine was later altered to cover the entire floor, effectively making a full second floor. The second floor is accessed by the main elevators and north staircase, but there is also a historic spiral staircase to the west of the elevators. The spiral staircase would have

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Historic Preservation
Certification Application

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NPS Project Number _____

provided immediate access from the bank floor to the bank offices on the mezzanine level. The second floor has a non-historic central hallway in the west half and a historic hallway in the east portion that leads to the rear staircase. The second floor has a dropped acoustical-tile ceiling and carpet flooring. The office partitions are gyp board.

The third through eleventh floors are divided into offices that have been adapted over time. The current offices have non-historic finishes, though historic finishes remain underneath. Each floor has an east hallway that extends from the rear staircase to the elevator lobby in the rear of the L of the building. The hallway is in its original position, with offices to the east. Each floor also has a central hallway in the west half that were moved during the later rehabilitations. The central hallways provide office space both to the north and south. Historically, the hallway ran along the north wall. The office divisions are different from floor to floor and have changed over time with new tenants.

The upper floors have dropped acoustical tile ceilings to hide mechanical equipment. The exterior walls are plaster, but interior demising walls are primarily gyp board. The flooring is a mix of carpet and replica wood flooring. Some of the historic wood flooring is exposed. Investigative demolition work has shown that the original plaster ceilings are mostly intact. The historic hallway terrazzo flooring is still present on most floors, though in varying conditions. The offices have historic wood flooring underneath the non-historic flooring.

Work and Impact on Feature:

The first floor will be the hotel lobby and the rehab work will focus on honoring the historic Gothic Revival appearance of the building. The upper floors will contain hotel rooms with a focus on restoring the historic layout and finishes in the space.

First Floor

- The first floor will operate as the lobby and amenity space for the hotel, including a large bar and seating areas for guest.
- The first five bays from the west will be returned to extend up to the double-height lobby appearance, restoring the historic bank lobby appearance.
 - Historic wall and ceiling decorations have been removed, but simplified Gothic Revival decorations will be placed on the upper walls in the main lobby. The simplified appearance will demonstrate that they are not the originals.
- The spiral staircase to the second floor and the north staircase to the upper floors will be retained.
 - The lobby staircase will be moved in order to accommodate necessary basement MEP systems. The components of the staircase will be retained and reused in an access point to the rooftop.
 - A new staircase will be added to the west of the vault and will lead to the basement.
 - The staircases will be gently cleaned and repainted where necessary.
 - The original marble steps will be retained.

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

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- The historic vault will also be retained, but openings will be cut in both the south and north walls to provide access into 1202 Main Street.
 - The new opening in the north wall will lead into the new stair and elevator tower (see Feature 4 above).
- The original elevator lobby will retain as many historic finishes as possible.
 - The terrazzo, marble and patch concrete flooring will be retained.
- The first floor west of the elevator lobby will remain open as the hotel lobby.
 - A bar will be centrally located in the space.
 - Seating will be added to the northwest and southwest corners.
 - Further upfits will be submitted as an Amendment.
- The existing dividing walls and finishes for the restaurant will be removed.
 - Further restaurant tenant upfits will be provided in a separate Amendment.
- The three bathrooms in the north portion will be retained.

Basement

- The basement level will be renovated to house a bar, laundry, and other MEP service areas for the building.
- The central portion of the basement will retain the bank vault as an open lobby from the elevators in 1202 Main Street into the 1200 Main basement.
 - The original elevator down to the basement will be retained.
 - The rest of the space will be divided into a service quarter, engineer's office, electrical room, and storage.
- The east portion will include the hotel laundry, mechanical, and fire pump.
 - The existing walls will be retained to provide separation between these spaces.
- The west half will be a new speakeasy.
 - The north curved staircase will be retained.
 - The non-historic demising walls will be removed. The space will be left open with a bar along the north wall.
- Further upfits will be submitted as an Amendment.

Upper Floors

- The upper floors will be divided into hotel rooms with approximately 12 hotel rooms per floor.
 - The steel structure of the building allows for flexible interior wall layouts, which have been changed by previous tenants.
 - The main hallway will be restored to its historic location – extending from the north staircase along the northwest and north walls.
 - The hallway will wrap around the historic elevators to create the main elevator lobby.
 - The hallway runs along the north elevation wall until the western-most bay and a half.

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- On the second floor, it will terminate at the spiral staircase.
- The historic terrazzo flooring in the hallways will be retained. The hallways will be covered in carpet due to soundproofing and the heavy foot traffic in order to maintain the historic terrazzo for future generations.
- The hotel rooms will have restored wood flooring.
 - Where necessary, the wood will be replaced in kind.
 - The wood will be polished.
- The ceilings in the hotel rooms will be full height plaster ceilings.
 - Existing non-historic mechanical equipment and finishes will be removed.
 - The original plaster will be retained and patched where damaged.
- The ceilings in the hallway and hotel room bathrooms will be dropped to hide mechanical equipment.
 - This is the least intrusive way to provide necessary MEP equipment.
 - The dropped ceilings will be acoustical tile.
 - The west, south, and east elevations will have no dropped ceilings near the windows, restoring the original appearance from the exterior.
- Other necessary MEP equipment will be placed in the new dividing walls to limit disruption of historic plaster.
 - Historic plaster walls will be retained and patched where necessary.
- The second floor will only have six hotel rooms.
 - The hallway will terminate at the spiral staircase.
 - A new opening will be cut into the north wall to provide access into 1202 Main Street and the new elevator and stair tower.

Photos: *1200 Main HPCA Part 2 Photos*
Images 21-105

Drawings: “Interior and Exterior Improvements to The Historic 1200 and 1202 Main Street”
7-31-2022 Craig Otto Architect, Inc.
Sheets X1.1 – X1.4
Sheets A1.0 – A1.11W

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Historic Preservation
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NPS Project Number _____

Number 7

Architecture Feature: Roof

Approximate Date of Feature: 1913, later changes

Existing Feature and Condition:

The roof is currently covered in a single layer membrane roof. There are two brick structures – the staircase and elevator overruns. Both are of considerable size to accommodate any additional mechanicals and landings.

The roof has exposed metal support I-beams that also currently support HVAC units.

Work and Impact on Feature:

The roof will house a new rooftop bar. The rooftop bar is necessary to make the project economically viable. The rehabilitation is costly due to significant neglect of the building and the changes made during the 1960s and 1970s. In order to restore the original splendor of the building, considerable additional rehabilitation work is necessary. The small footprint of the building though means that the building can only hold a limited number of hotel rooms (especially since we're reopening a portion of the second floor, losing more square footage) and a rooftop bar is needed to offset the rehabilitation costs. The proposed square footage of the enclosed rooftop bar is the smallest square footage possible in order to make the project financially viable. The building has sat mostly vacant for a long time because the cost of restoring the building is very high, but it is a landmark building in a prominent location in Columbia, SC that the community has wanted to see restored for a long time.

Rooftop Bar Design

- The height of the building means the rooftop bar will be visible from the ground at certain angles (see *1200 Main HPCA Part 2 Photos* – Images 120-128 for mock-up).
- The new elevator and stair shaft will be extended up just above the height of the existing rooftop enclosed spaces.
- The existing elevator equipment will be retained and open for viewing.
- A new minimal structure will be built on the roof to house the bar. It will enclose the existing brick structures.
 - It will be pulled back from the south and west elevations. The design has an arc along the southwest corner in order to soften the view of the addition from the ground.
 - The east and north elevations will be primarily plane walls with a few windows.
 - The south elevation will be curved with large garage doors.
 - The west elevation will be primarily glass.
 - A glass railing will be placed along the south and west elevations. The glass railing will be frameless, 6 feet tall, and will be applied to the inside face of the parapet.

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- Minimal HVAC units will be placed on top of the new rooftop bar structure and will have a screen placed around them.

Photos: *1200 Main HPCA Part 2 Photos*
Images 106-113, 120-128

Drawings: “Interior and Exterior Improvements to The Historic 1200 and 1202 Main Street”
7-31-2022 Craig Otto Architect, Inc.
Sheets A1.12 – A2.2

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NPS Project Number _____

Number 8

Architecture Feature: Mechanical, Electrical, and Plumbing

Approximate Date of Feature: Mid-to-late twentieth century

Existing Feature and Condition:

The existing MEP systems were added in later changes to the building. Drop ceilings were added throughout the building to cover HVAC, electrical, and fire sprinkler systems. The majority of electrical outlets were added into interior demising walls, though some exist in the plaster exterior walls.

Work and Impact on Feature:

MEP systems will be limited to drop ceilings in the hallways and bathrooms as much as possible. Electrical and plumbing will be run through new interior demising walls.

Fire sprinkler systems will need to be exposed in the rooms to meet fire code. They will be painted the same color as the ceiling so as to be as minimally visible as possible.

HVAC units will be placed on the roof of 1202 Main and 1200 Main. The roof of 1202 Main is very minimally visible due to the height of 1200 Main. The units on the roof of 1200 Main will be placed on top of the new bar addition and will be screened. The HVAC units will be the lowest profile possible and will not be visible because of the height of 1200 Main.

Photos: *1200 Main HPCA Part 2 Photos*

NA

Drawings: “Interior and Exterior Improvements to The Historic 1200 and 1202 Main Street”

7-31-2022

Craig Otto Architect, Inc.

Sheets A2.1 – A2.2

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NPS Project Number _____

Number 9

Architecture Feature: Lighting and Signage

Approximate Date of Feature: Non-historic

Existing Feature and Condition:

There is currently no historic signage at the building. Historic images show a multitude of different signs at the building, most notably large blade signs at the southwest corner of the building.

Work and Impact on Feature:

Lighting and signage will be compatible with the early twentieth century finished appearance of the building.

The “Moxy” hotel name will be painted on the new stair tower.

Photos: *1200 Main HPCA Part 2 Photos*

All

Drawings: “Interior and Exterior Improvements to The Historic 1200 and 1202 Main Street”

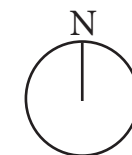
7-31-2022

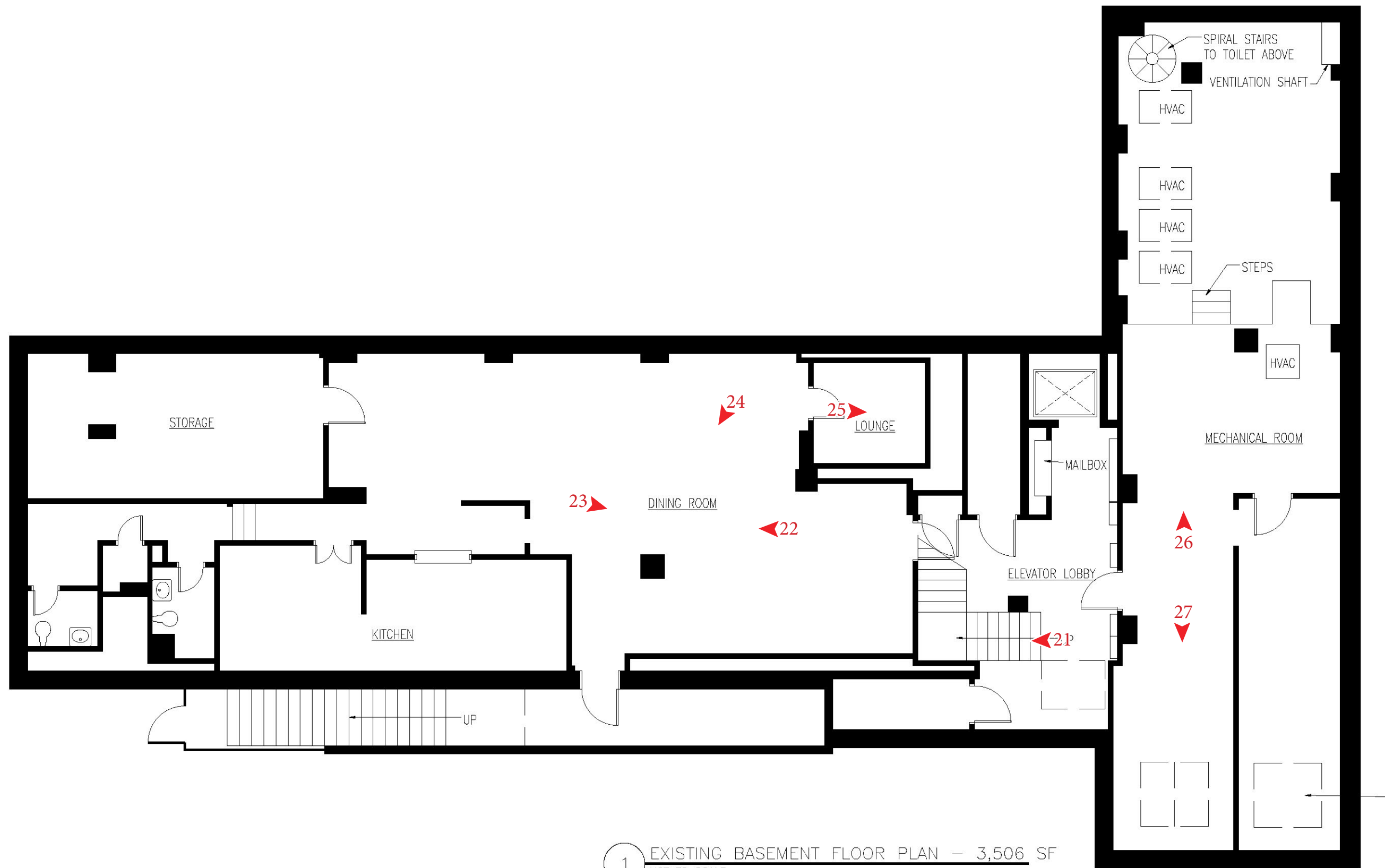
Craig Otto Architect, Inc.

Sheet A2.2



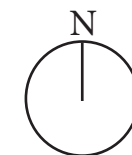
Union Bank Building
1200 Main Street
Columbia SC 29201



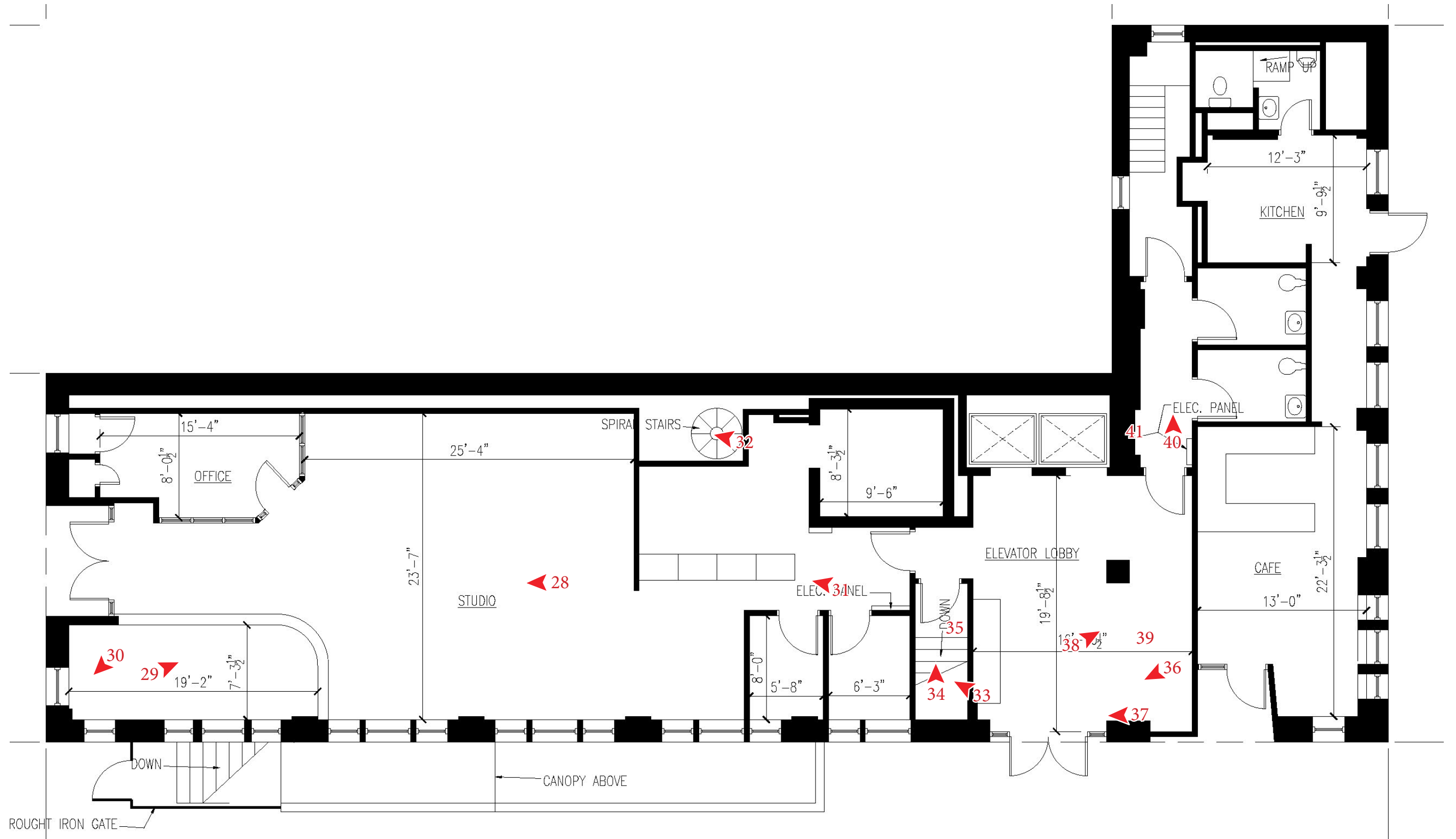


1 EXISTING BASEMENT FLOOR PLAN - 3,506 SF
NOT TO SCALE

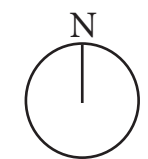
Union Bank Building
1200 Main Street
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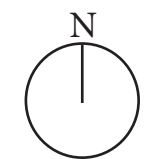
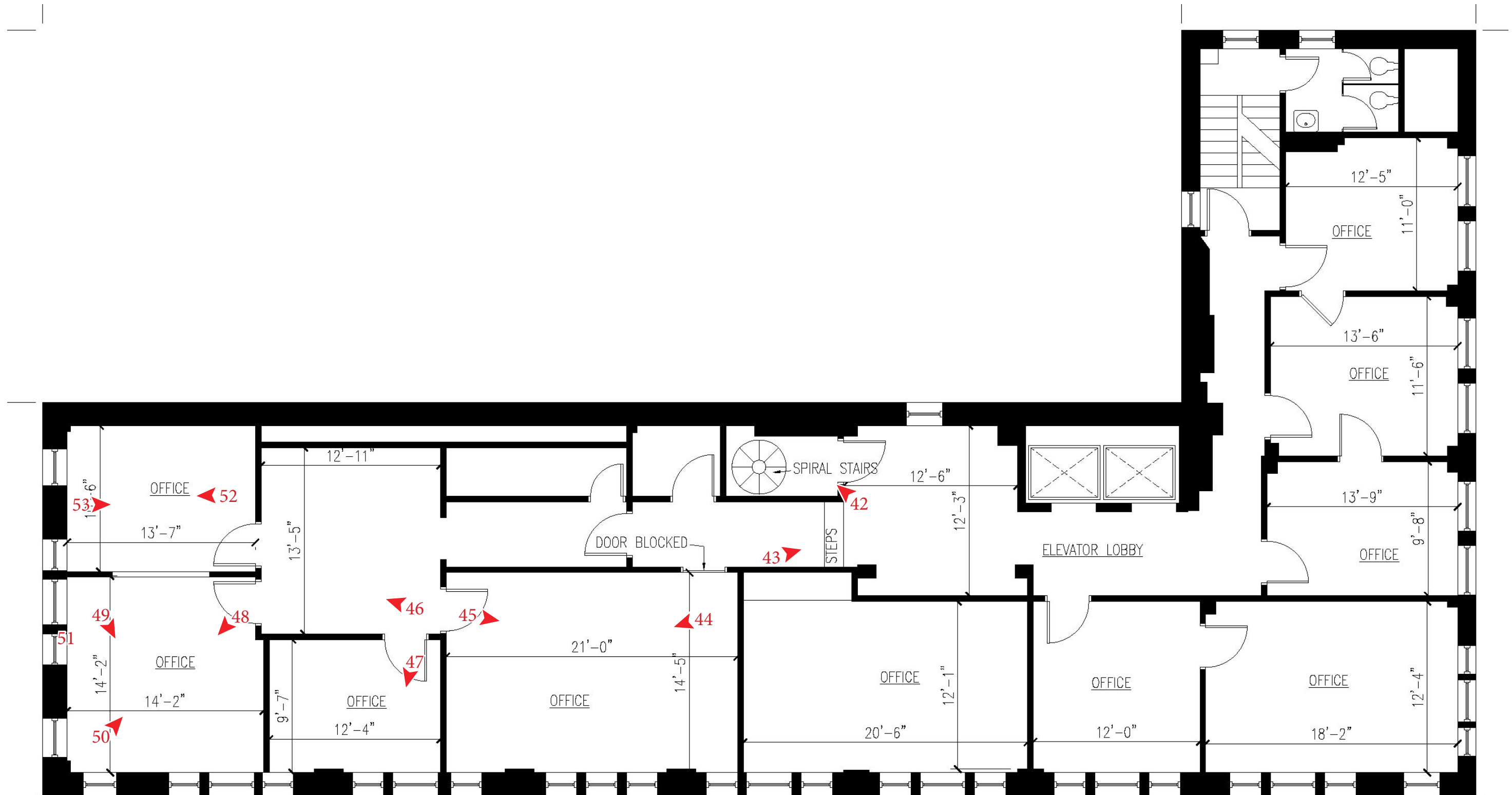
National Park Service
Part 1 Certification Photo Key
Basement Floor Plan

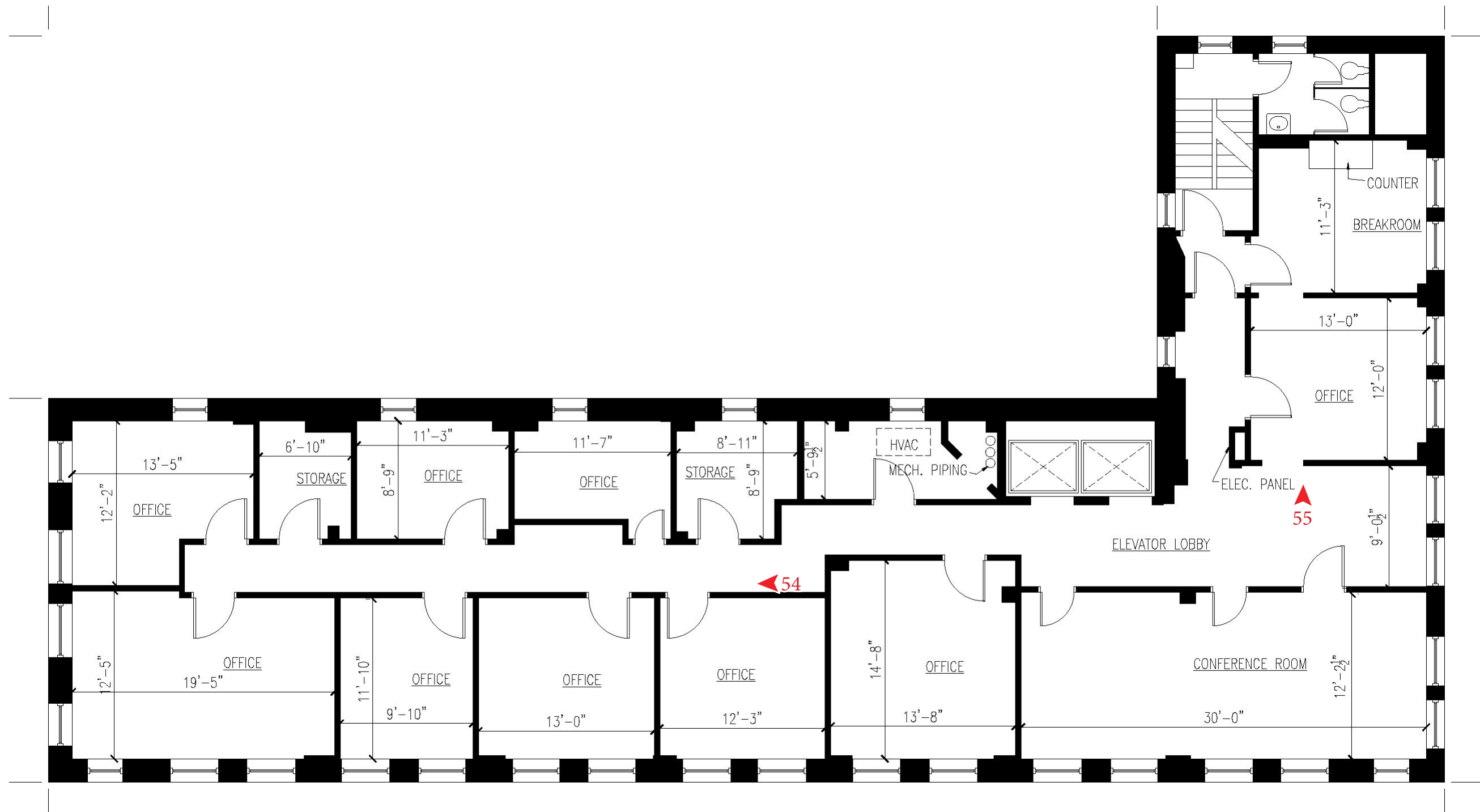


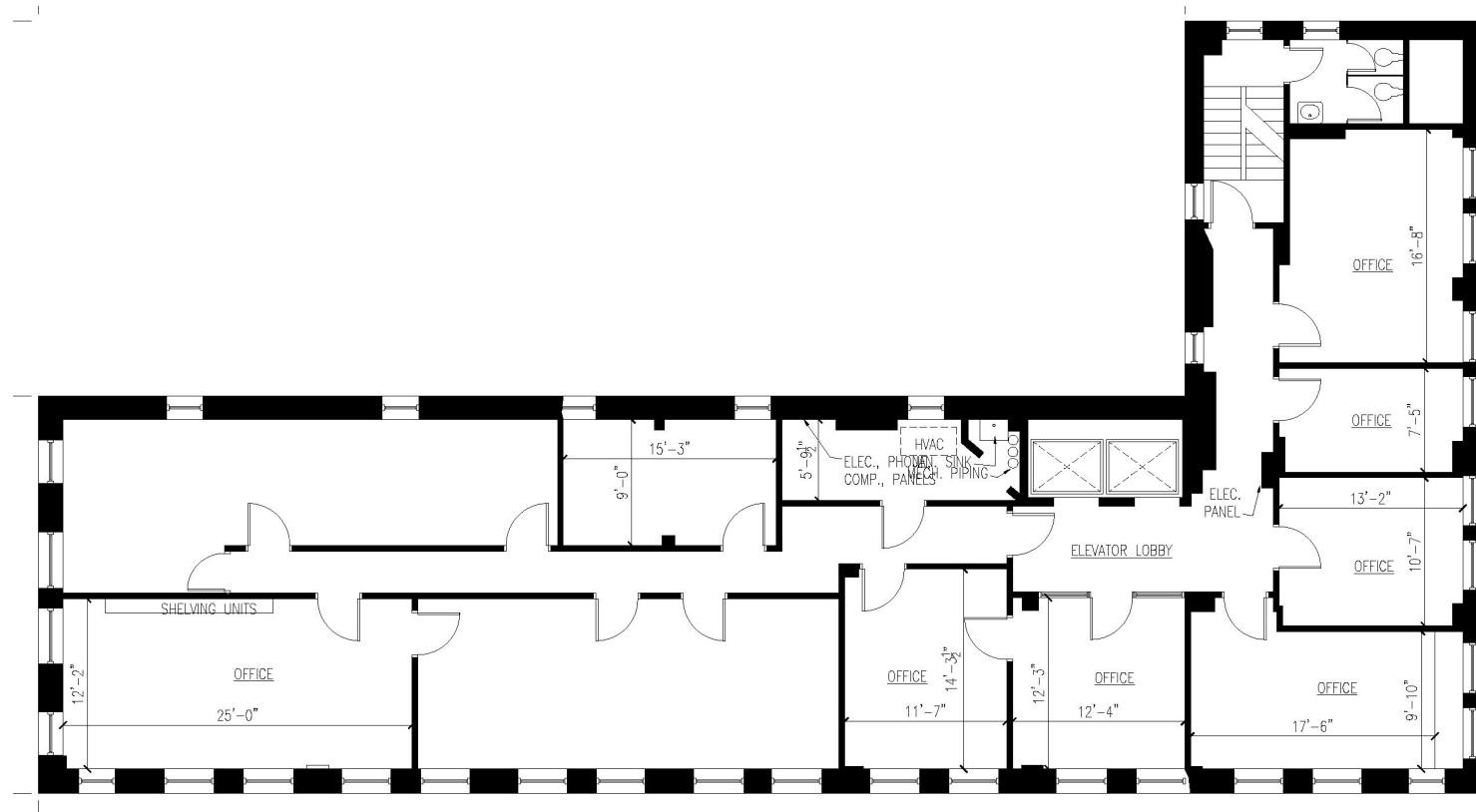
Union Bank Building
 1200 Main Street
 Columbia SC 29201



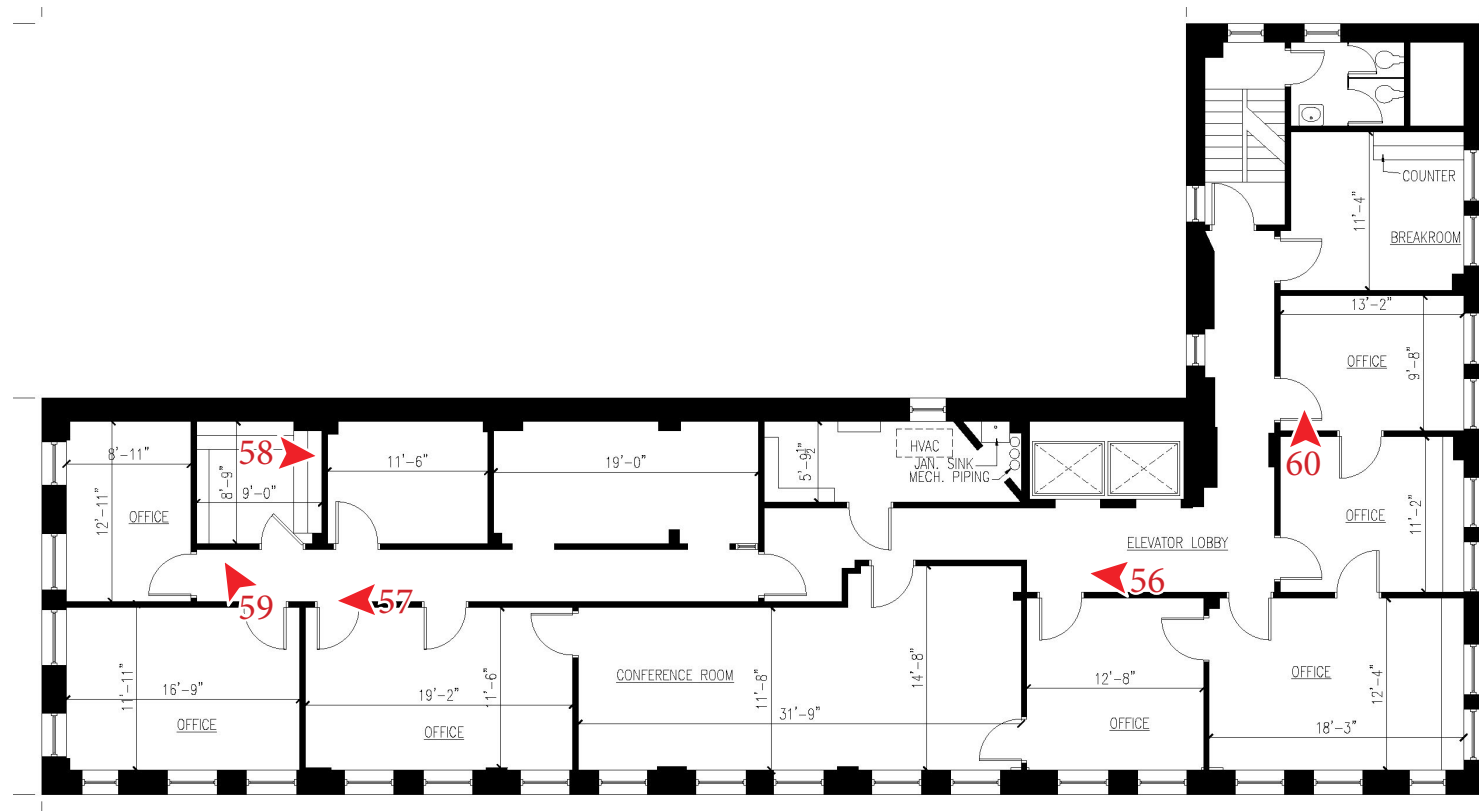
National Park Service
 Part 1 Certification Photo Key
 First Floor Plan







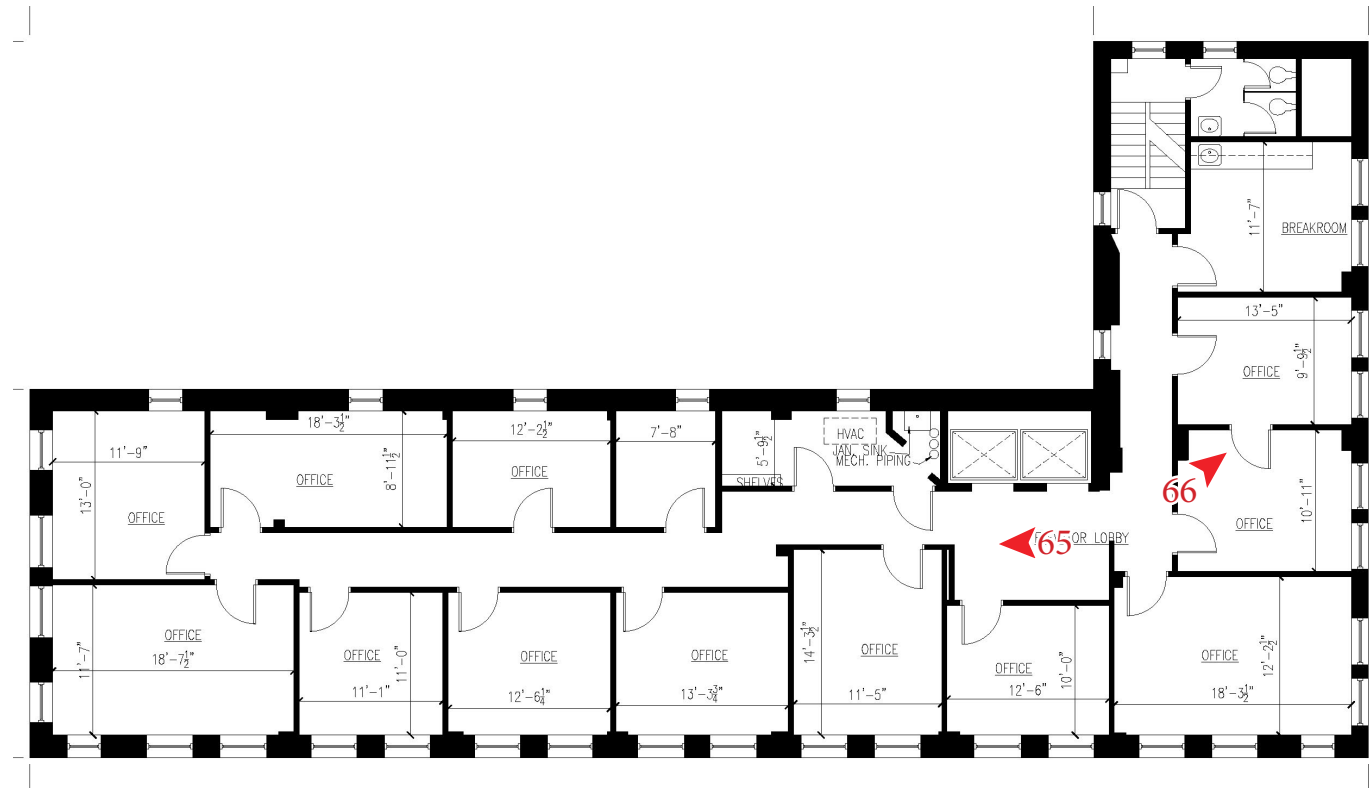
Fifth Floor Existing



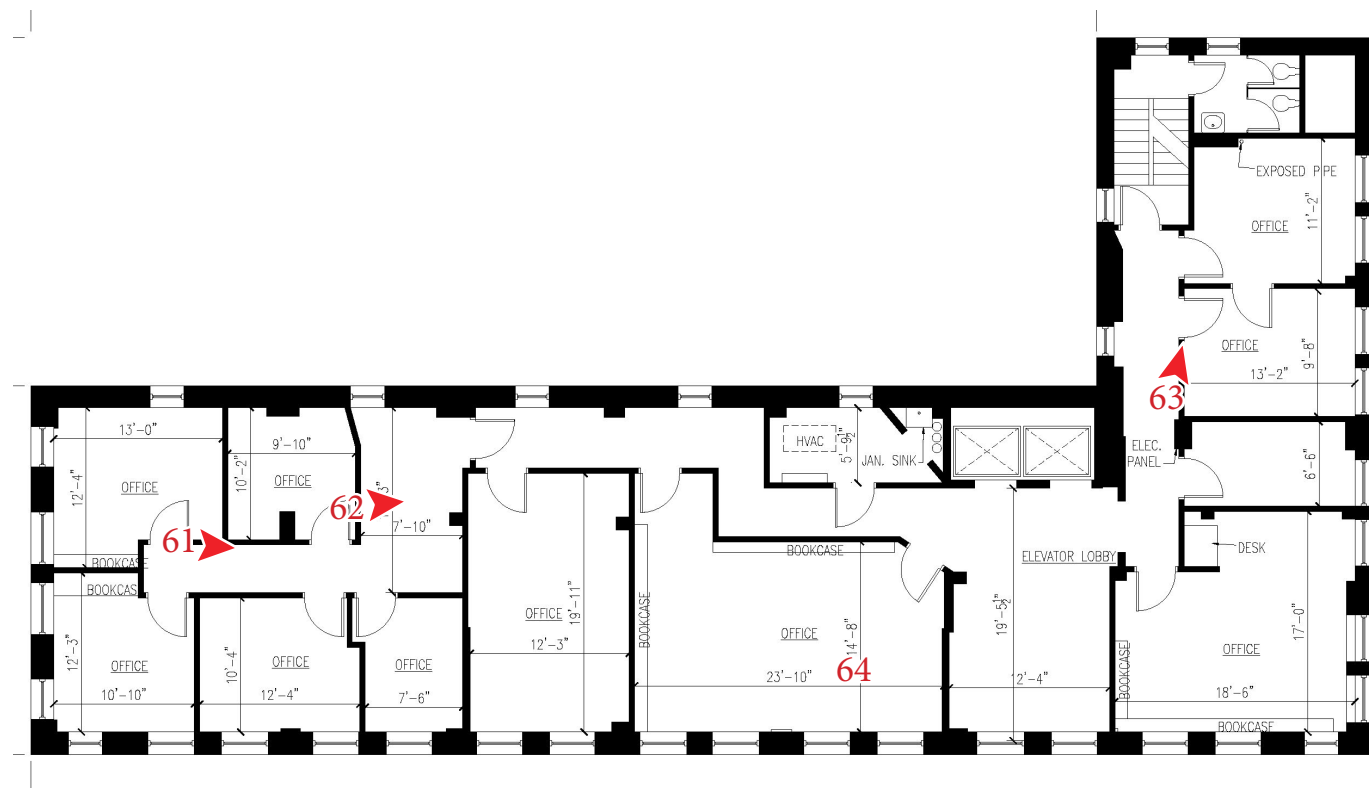
Fourth Floor Existing

Union Bank Building
 1200 Main Street
 Columbia SC 29201





Seventh Floor Existing

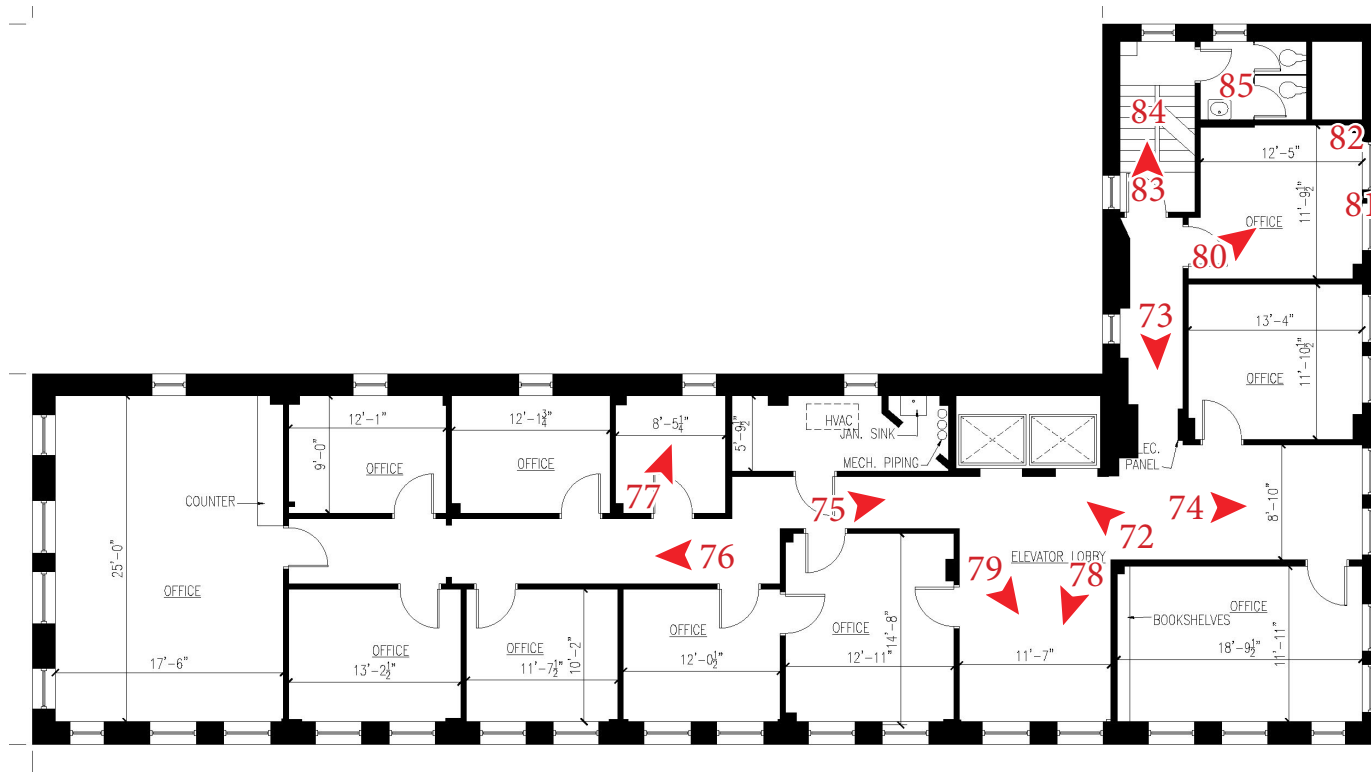


Sixth Floor Existing

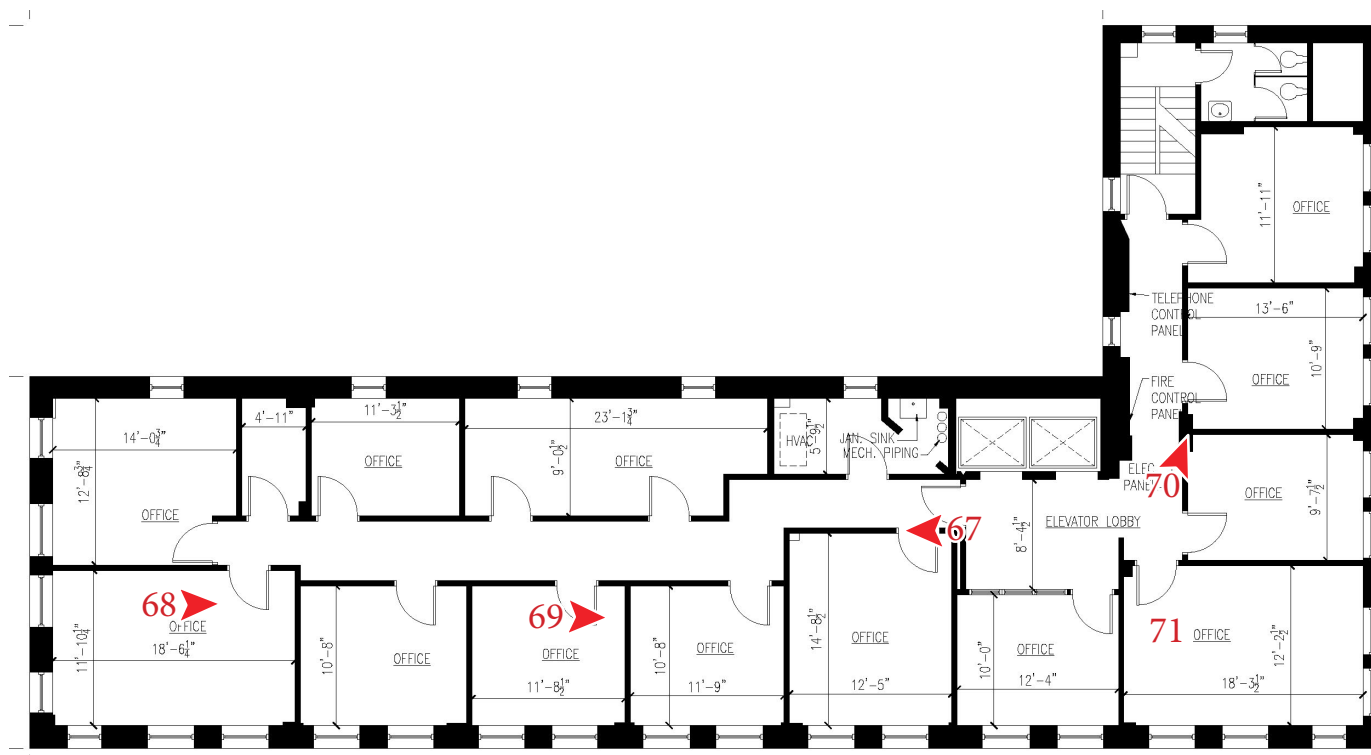
Union Bank Building
 1200 Main Street
 Columbia SC 29201



National Park Service
 Part 1 Certification Photo Key
 Sixth and Seventh Floor Plans



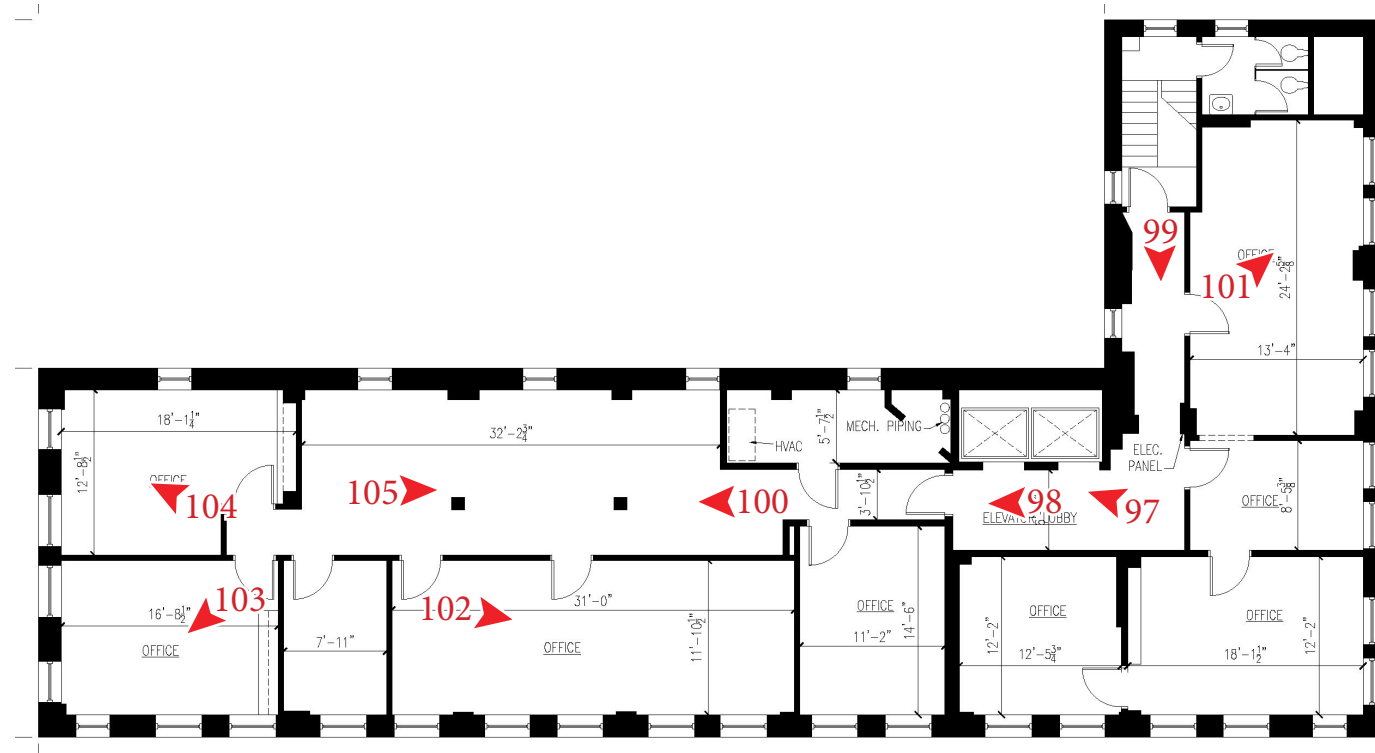
Ninth Floor Existing



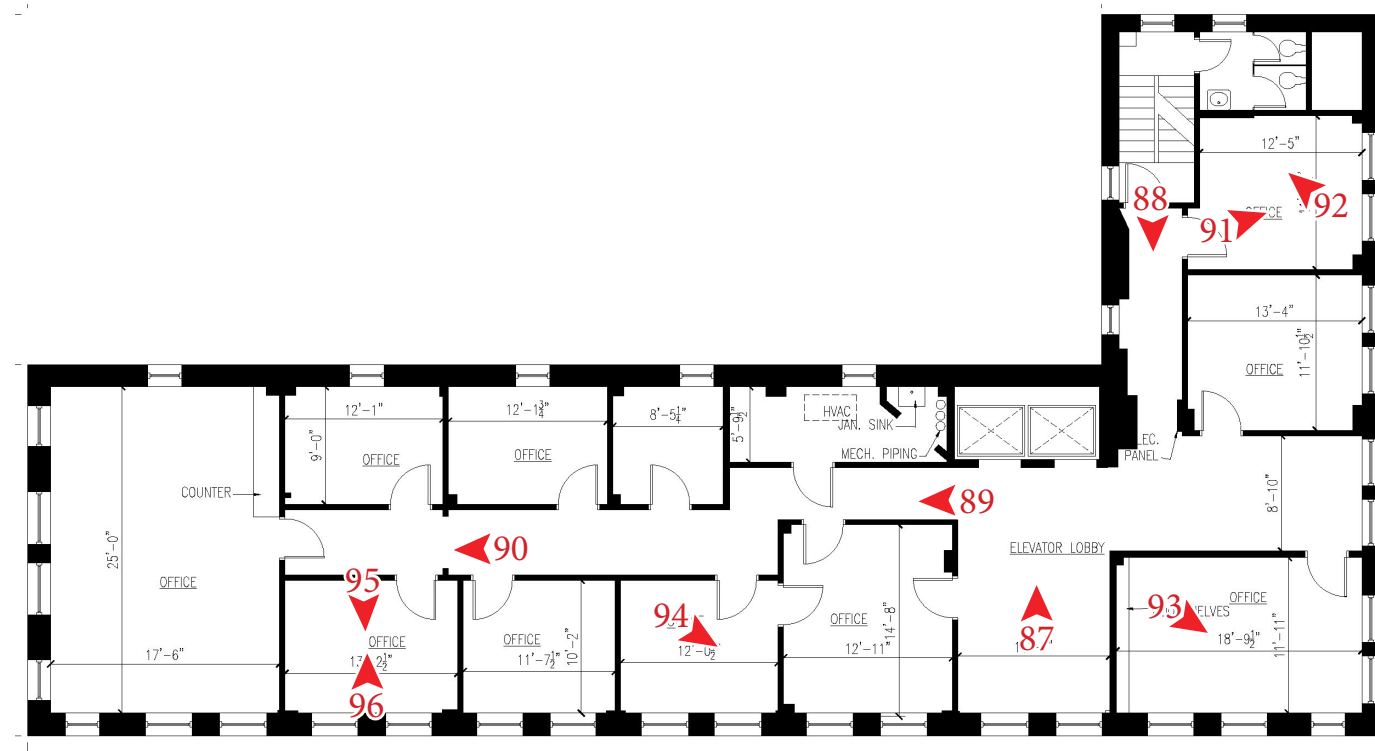
Eighth Floor Existing

Union Bank Building
 1200 Main Street
 Columbia SC 29201





Eleventh Floor Existing



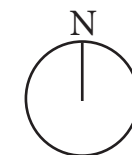
Tenth Floor Existing

Union Bank Building
 1200 Main Street
 Columbia SC 29201

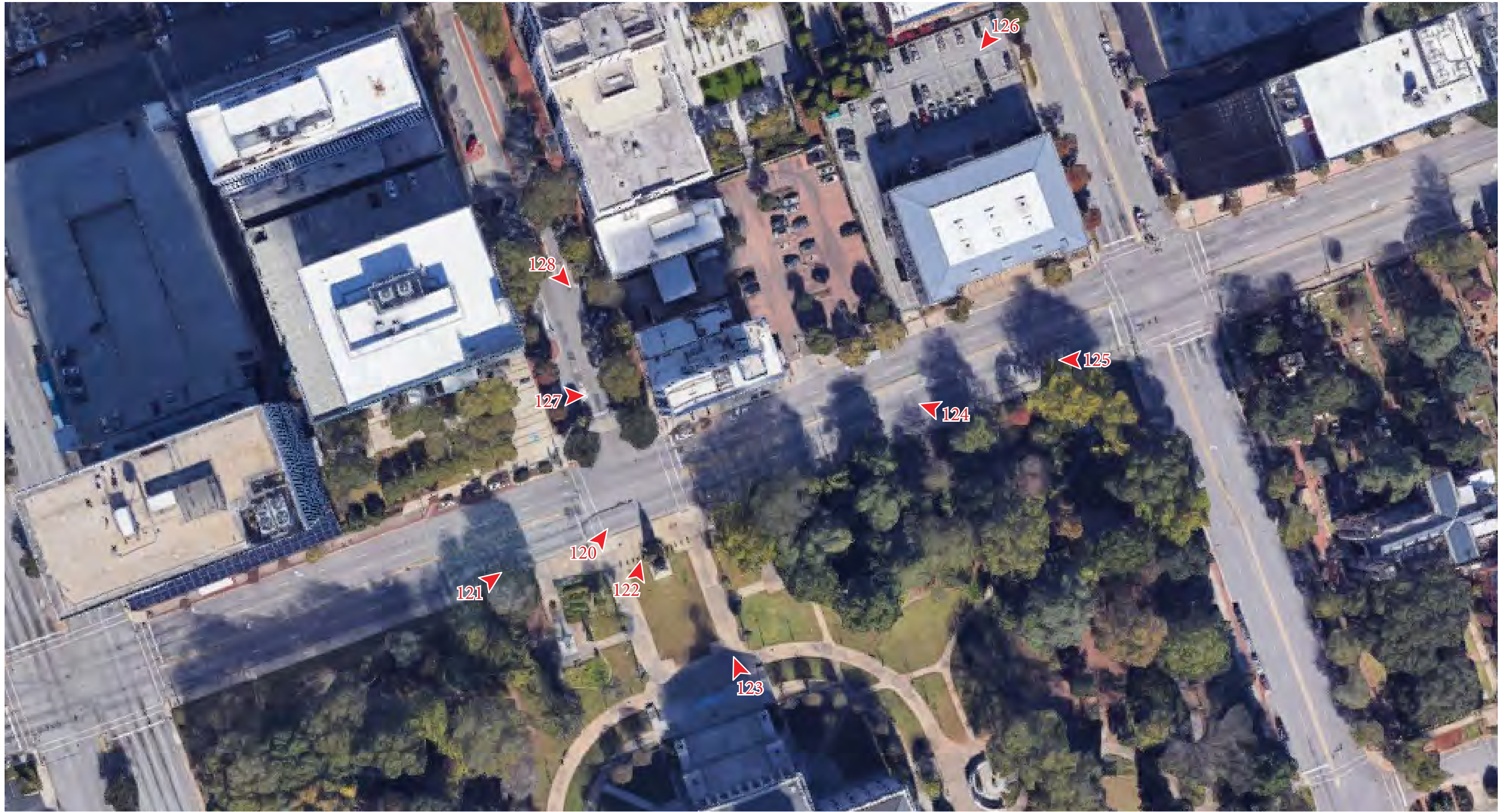




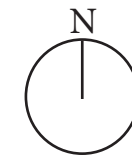
Union Bank Building
1200 Main Street
Columbia SC 29201



National Park Service
Part 1 Certification Photo Key
Existing Roof

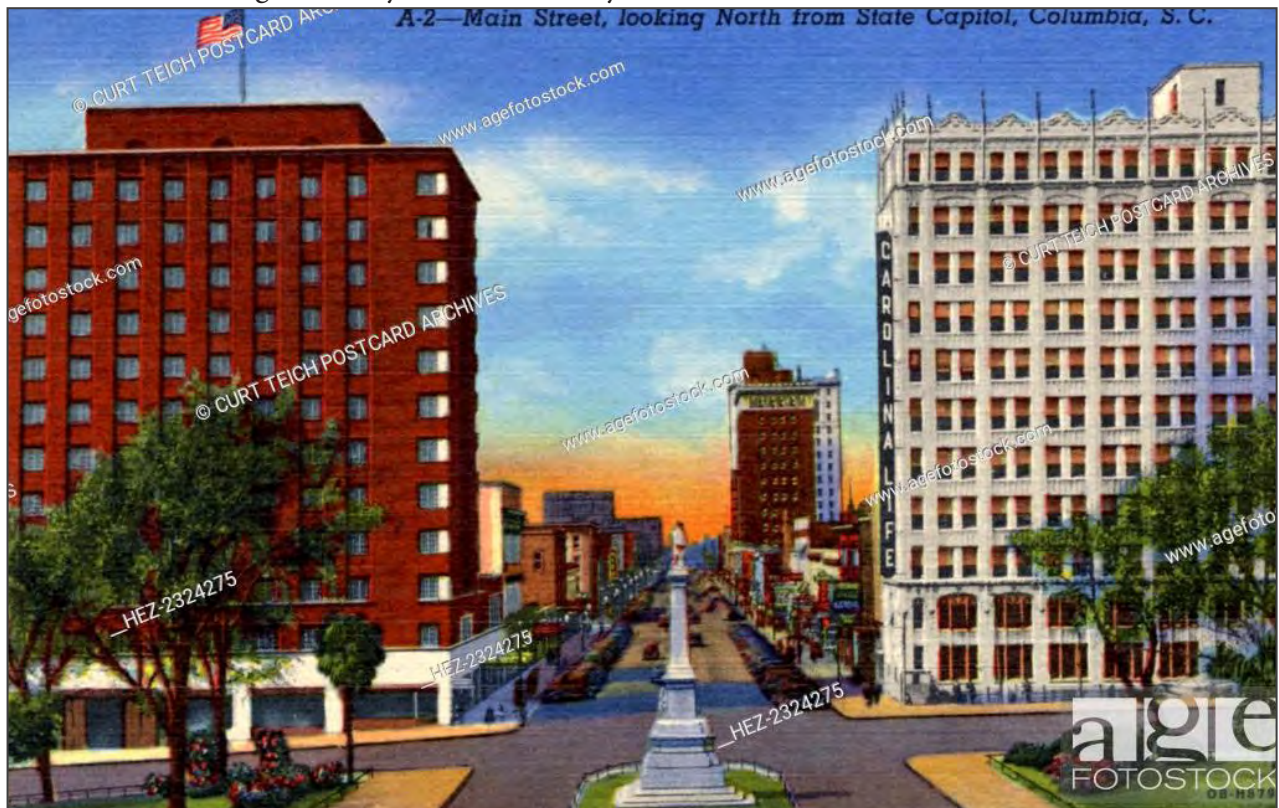


Union Bank Building
1200 Main Street
Columbia SC 29201





Historic Image A. Earliest known photo of the Union National Bank Building. *Courtesy of the University of South Carolina archives.*



Historic Image B. 1940s postcard of Main Street with 1200 Main Street to the right.





Historic Image C. 1953 photo of 1200 Main looking towards the state capital building. *Courtesy of the Richland County library.*



Historic Image D. 1958 photo of the Gervais Street entrance of 1200 Main. *Courtesy of the Richland County library.*



Historic Image E. 1960 photo of 1200 Main. *Courtesy of the Richland County library.*





Historic Image F. 1962 photo of the Gervais Street entrance of 1200 Main. *Courtesy of the Richland County library.*



Historic Image G. 1962 photo of the Gervais Street entrances of 1200 Main. *Courtesy of the Richland County library.*



Historic Image H. 1962 photo of Gervais Street elevation. Photo shows a mix of original and replacement windows. *Courtesy of the Richland County library.*



1. South elevation, view north



2. West elevation, view northeast



3. West elevation, first floor, view north



4. West elevation, main entrance, view northeast



5. West elevation, main entrance, view southeast



6. South elevation, view northeast



7. South elevation, entrance to basement,
view northeast



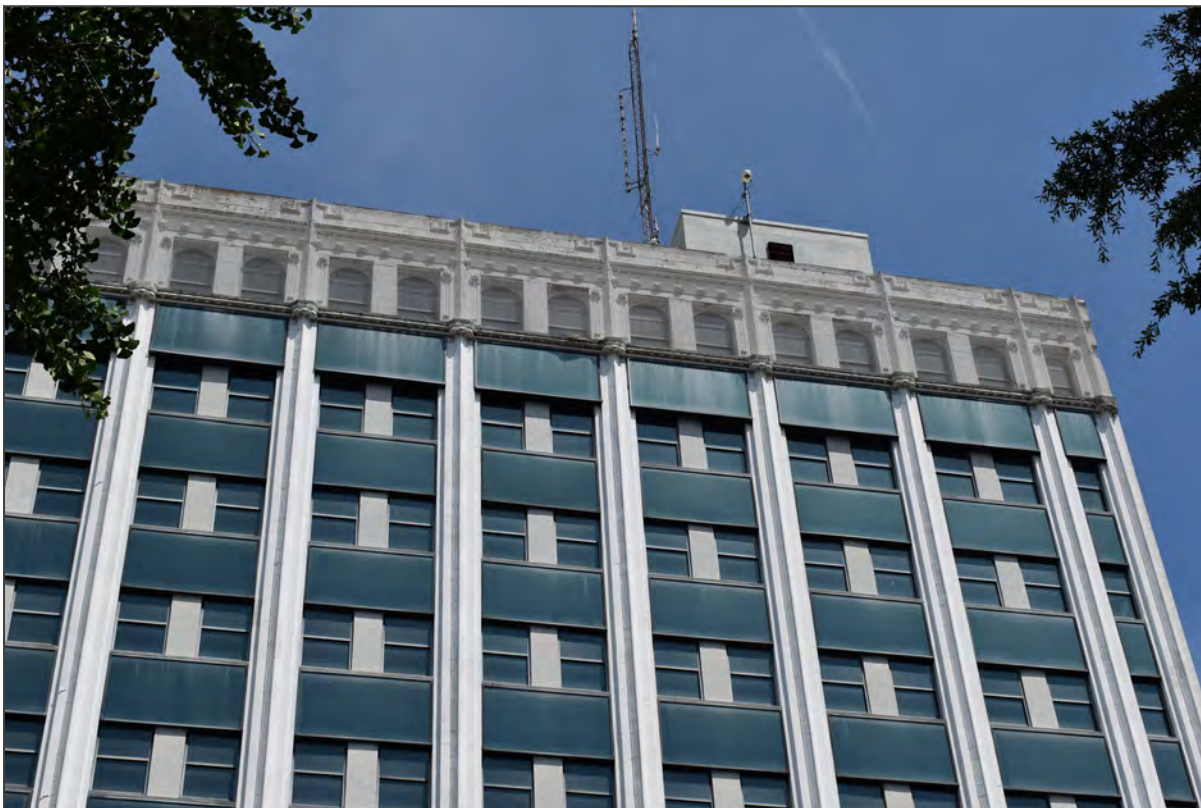
8. South elevation, bottom floors, view north



9. South elevation, first floor, view northeast



10. South elevation, historic terra cotta details



11. South elevation, upper floors, view north



12. South elevation, Gervais Street entrances, view west



13. East elevation, view southwest



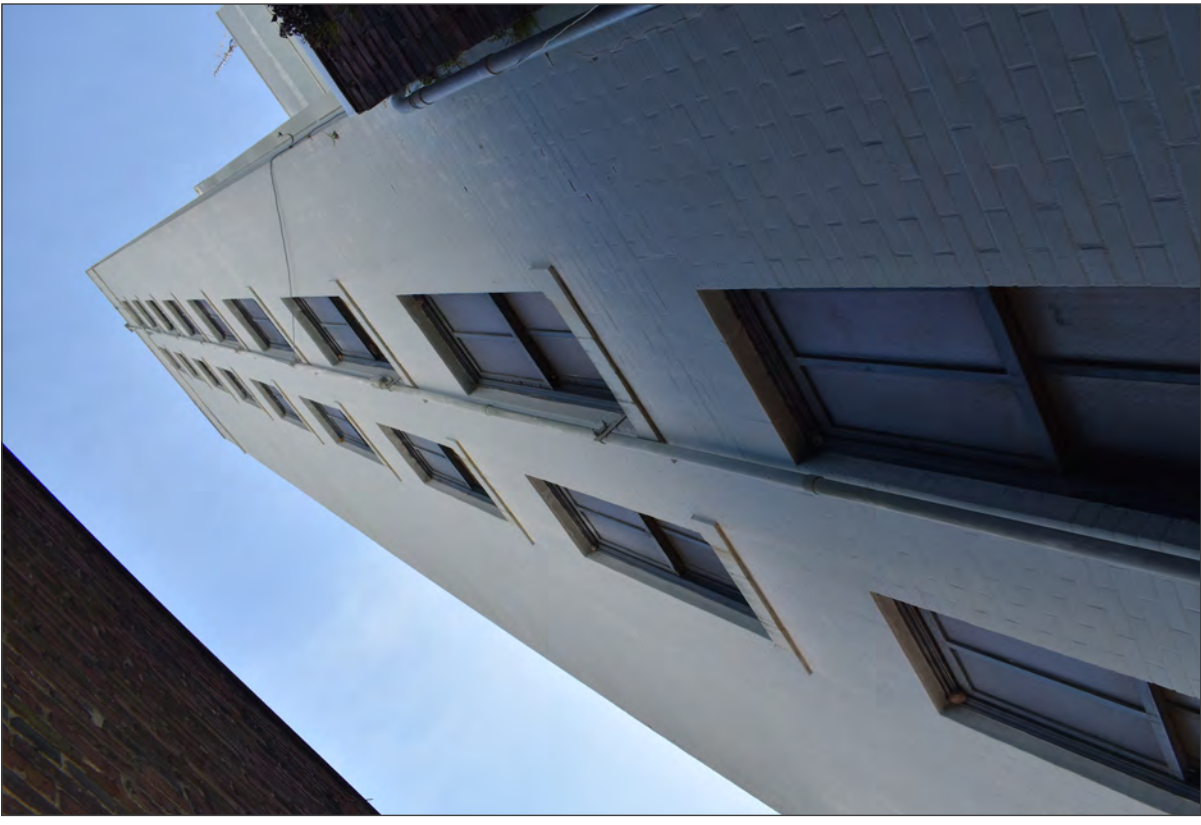
14. East elevation, historic first floor window



15. East elevation, rear entrance, view southwest



16. East elevation, view southwest



17. North elevation, view southeast



18. North elevation, view southeast



19. North elevation, looking down on roof of 1202 Main, view southwest



20. North elevation, window example



21. Basement, staircase to first floor



22. Basement, view west



23. Basement, view southeast



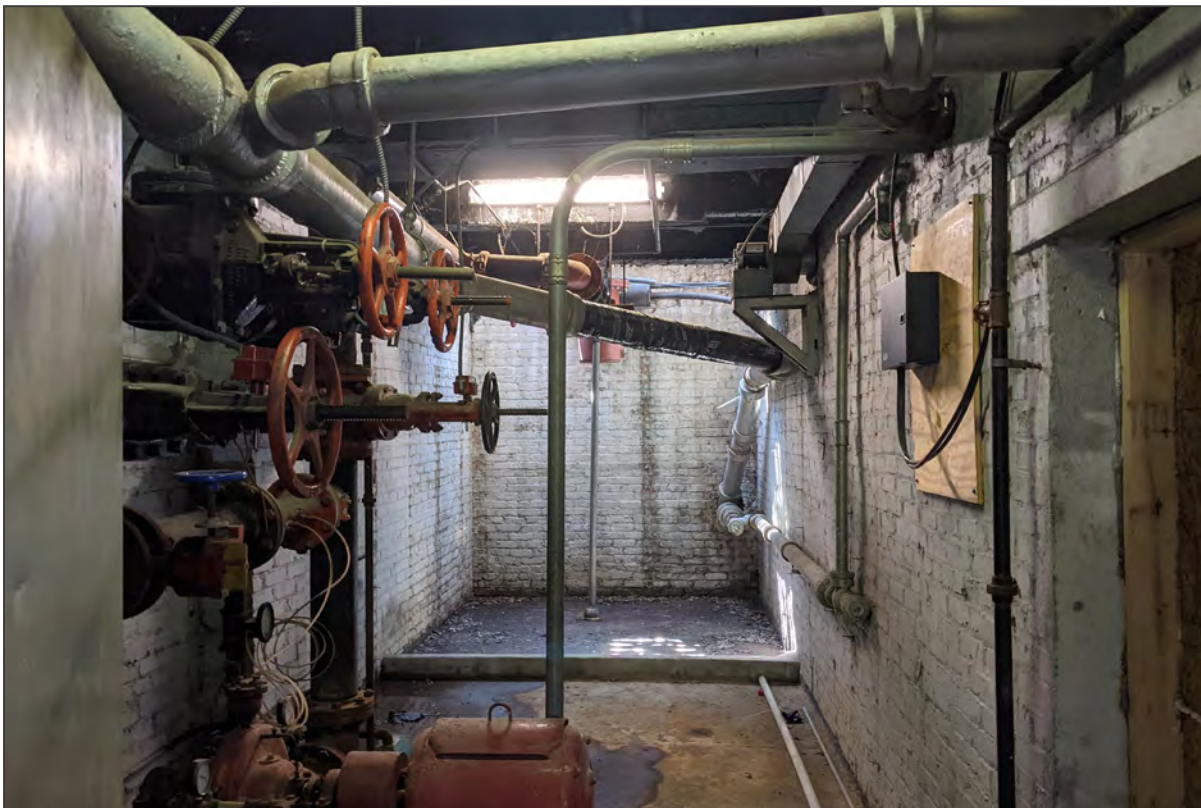
24. Basement, view southwest



25. Basement, lounge room, view east



26. Basement, view north



27. Basement, view south



28. First floor, main lobby, view west



29. First floor, main lobby, view northeast



30. First floor, front entrance, view southwest



31. First floor, main lobby, view northwest



32. First floor, spiral staircase to second floor, view west



33. First floor, staircase to basement, view northwest



34. First floor, staircase to basement, view north



35. First floor, staircase to basement, detail



36. First floor, Gervais Street main entrance, view southwest



37. First floor, Gervais Street lobby, view west



38. First floor, restaurant, view northeast



39. First floor, Gervais Street lobby, different flooring examples



40. First floor, view north



41. First floor, historic wall finish remnant



42. Mezzanine/second floor, staircase to first floor, view northwest



43. Mezzanine/second floor, staircase hallway, view northeast



44. Mezzanine/second floor, open office, view southwest



45. Mezzanine/second floor, open office, view southeast



46. Mezzanine/second floor, west office common area, view northwest



47. Mezzanine/second floor, west office, view south



48. Mezzanine/second floor, southwest office, view southwest



49. Mezzanine/second floor, southwest office, view southeast



50. Mezzanine/second floor, southwest office, view northeast



51. Mezzanine/second floor, southwest office, window sill



52. Mezzanine/second floor, northwest office, view northwest



53. Mezzanine/second floor, northwest office, view east



54. Third floor, view west



55. Third floor, view north towards staircase



56. Fourth floor, view west



57. Fourth floor, view west



58. Fourth floor, historic hallway terrazzo flooring visible at left, view east



59. Fourth floor, northwest corner, view northwest



60. Fourth floor, historic hallway terrazzo at left, view north towards staircase



61. Sixth floor, view east



62. Sixth floor, view northeast



63. Sixth floor, view north towards staircase



64. Sixth floor, historic wood flooring example



65. Seventh floor, view west



66. Seventh floor, view northeast



67. Eighth floor, view west



68. Eighth floor, view east



69. Eighth floor, view east



70. Eighth floor, view north towards staircase



71. Eighth floor, historic flooring example



72. Ninth floor, elevator lobby, view northwest



73. Ninth floor, staircase hallway, view southeast



74. Ninth floor, central hallway, view east



75. Ninth floor, central hallway, view east



76. Ninth floor, central hallway, view west



77. Ninth floor, typical upper floor office example



78. Ninth floor, typical upper floor office lobby example (non-historic finishes typical of the upper floors)



79. Ninth floor, typical upper floor office lobby example



80. Ninth floor, northeast office, view north



81. Ninth floor, northeast office, older molding visible above current drop-ceiling framing



82. Ninth floor, northeast office, older molding



83. Staircase, view north



84. Staircase, view northeast



85. Staircase bathroom example



86. Staircase detail example



87. Tenth floor, elevatory lobby, view north



88. Tenth floor, staircase hallway, view south



89. Tenth floor, central hallway, view west



90. Tenth floor, central hallway, view west



91. Tenth floor, northeast office, view northeast



92. Tenth floor, northeast office, view northwest



93. Tenth floor, southeast office, view southeast



94. Tenth floor, south office example, view southeast



95. Tenth floor, south office example, view south



96. Tenth floor, south office example, view north



97. Eleventh floor, elevator lobby, view northwest



98. Eleventh floor, elevator lobby, view west



99. Eleventh floor, staircase hallway, view south



100. Eleventh floor, west open hallway and office space, view west



101. Eleventh floor, northeast office, view northeast



102. Eleventh floor, south office, view southeast



103. Eleventh floor, west office, view southwest



104. Eleventh floor, west office, view northwest



105. Eleventh floor, west hallway and open office space, view east



106. Roof, staircase landing, view southeast



107. Roof, staircase monitor, view north



108. Roof, view southeast



109. Roof, view southwest



110. Roof, parapet example



111. Roof, view west



112. Roof, elevator mechanical room



113. Roof, elevator mechanical room



114. Roof, view southwest



115. Example of replacement window header. Decorative tiles are original, header at the bottom is replacement painted to match.



116. Proposed replacement header example.



117. Replacement header example, painted.



118. Uncovered terra cotta tiles, with test replacement panel second from right.



119. Uncovered terra cotta tile with replacement header (right) with replacement terra cotta panel and early header prototype (center and left).



120. Rooftop Bar Mock-up (highlighted in orange), view northeast



121. Rooftop Bar Mock-up (highlighted in orange), view northeast



122. Rooftop Bar Mock-up (highlighted in orange), view northeast





123. Rooftop Bar Mock-up (highlighted in orange), view northwest



124. Rooftop Bar Mock-up (highlighted in orange), view northwest





125. Rooftop Bar Mock-up (highlighted in orange), view east



126. Rooftop Bar Mock-up (highlighted in orange), view southwest



127. Rooftop Bar Mock-up (highlighted in orange), view west



128. Rooftop Bar Mock-up (highlighted in orange), view southeast



MOXY by MARRIOTT

Interior and Exterior Improvements to The Historic 1200 and 1202 Main Street

Developed by State Capitol Hotel, LLC 1200 Main Street, Columbia, South Carolina, 29201

Marriott Project No. 58717 Moxy Columbia Downtown

Craig A. Otto, Architect, Inc. . 5044 Augusta Road . Lexington, South Carolina 29072 . Phone 803-957-9004 . craig@craigottoarchitect.com

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GENERAL

- G0.0 COVER SHEET
G0.1 TITLE SHEET, PROJECT DIRECTORY AND INDEX TO DRAWINGS
G1.1 BUILDING CODE REVIEW
G1.2 BUILDING CODE REVIEW (CONTINUED)
G1.3 BASEMENT LIFE SAFETY PLAN
G1.4 FIRST FLOOR LIFE SAFETY PLAN
G1.5 SECOND FLOOR LIFE SAFETY PLAN
G1.6 THIRD FLOOR LIFE SAFETY PLAN
G1.7 FOURTH THROUGH SEVENTH FLOOR LIFE SAFETY PLAN
G1.8 EIGHTH THROUGH ELEVENTH FLOOR LIFE SAFETY PLAN
G1.9 TWELFTH FLOOR LIFE SAFETY PLAN
G1.10 ACCESSIBILITY STANDARDS

ARCHITECTURAL

- X1.1 EXISTING BASEMENT, FIRST, SECOND AND THIRD FLOOR PLANS
X1.2 EXISTING FOURTH, FIFTH, SIXTH AND SEVENTH FLOOR PLANS
X1.3 EXISTING EIGHTH, NINTH, TENTH AND ELEVENTH FLOOR PLANS
X1.4 EXISTING TWELFTH FLOOR AND ROOF PLANS
X2.1 EXISTING EXTERIOR ELEVATIONS
X2.2 EXISTING EXTERIOR ELEVATIONS
X3.1 EXISTING SCHEMATIC BUILDING SECTION
A0.1 WALL TYPE DETAILS
A1.0 RENOVATED BASEMENT FLOOR PLAN
A1.0C BASEMENT REFLECTED CEILING PLAN
A1.0D BASEMENT DIMENSIONED PLAN
A1.0W BASEMENT WALL TYPE PLAN
A1.1 RENOVATED FIRST FLOOR PLAN
A1.1C FIRST FLOOR REFLECTED CEILING PLAN
A1.1D FIRST FLOOR DIMENSIONED PLAN
A1.1W FIRST FLOOR WALL TYPE PLAN
A1.2 RENOVATED SECOND FLOOR PLAN
A1.2C SECOND FLOOR REFLECTED CEILING PLAN
A1.2D SECOND FLOOR DIMENSIONED PLAN
A1.2W SECOND FLOOR WALL TYPE PLAN
A1.3 RENOVATED THIRD FLOOR PLAN
A1.3C THIRD FLOOR REFLECTED CEILING PLAN
A1.3D THIRD FLOOR DIMENSIONED PLAN
A1.3W THIRD FLOOR WALL TYPE PLAN
A1.4 RENOVATED FOURTH FLOOR PLAN
A1.4C FOURTH FLOOR REFLECTED CEILING PLAN
A1.4D FOURTH FLOOR DIMENSIONED PLAN
A1.4W FOURTH FLOOR WALL TYPE PLAN
A1.5 RENOVATED FIFTH FLOOR PLAN
A1.5C FIFTH FLOOR REFLECTED CEILING PLAN
A1.5D FIFTH FLOOR DIMENSIONED PLAN
A1.5W FIFTH FLOOR WALL TYPE PLAN
A1.6 RENOVATED SIXTH FLOOR PLAN
A1.6C SIXTH FLOOR REFLECTED CEILING PLAN
A1.6D SIXTH FLOOR DIMENSIONED PLAN
A1.6W SIXTH FLOOR WALL TYPE PLAN
A1.7 RENOVATED SEVENTH FLOOR PLAN
A1.7C SEVENTH FLOOR REFLECTED CEILING PLAN
A1.7D SEVENTH FLOOR DIMENSIONED PLAN
A1.7W SEVENTH FLOOR WALL TYPE PLAN

ARCHITECTURAL (CONTINUED)

- A1.8 RENOVATED EIGHTH FLOOR PLAN
A1.8C EIGHTH FLOOR REFLECTED CEILING PLAN
A1.8D EIGHTH FLOOR DIMENSIONED PLAN
A1.8W EIGHTH FLOOR WALL TYPE PLAN
A1.9 RENOVATED NINTH FLOOR PLAN
A1.9C NINTH FLOOR REFLECTED CEILING PLAN
A1.9D NINTH FLOOR DIMENSIONED PLAN
A1.9W NINTH FLOOR WALL TYPE PLAN
A1.10 RENOVATED TENTH FLOOR PLAN
A1.10C TENTH FLOOR REFLECTED CEILING PLAN
A1.10D TENTH FLOOR DIMENSIONED PLAN
A1.10W TENTH FLOOR WALL TYPE PLAN
A1.11 RENOVATED ELEVENTH FLOOR PLAN
A1.11C ELEVENTH FLOOR REFLECTED CEILING PLAN
A1.11D ELEVENTH FLOOR DIMENSIONED PLAN
A1.11W ELEVENTH FLOOR WALL TYPE PLAN
A1.12 RENOVATED TWELFTH FLOOR PLAN
A1.12C TWELFTH FLOOR REFLECTED CEILING PLAN
A1.12D TWELFTH FLOOR DIMENSIONED PLAN
A1.12W TWELFTH FLOOR WALL TYPE PLAN
A1.13 RENOVATED UPPER ROOF PLAN
A2.1 RENOVATED EXTERIOR ELEVATIONS
A2.2 RENOVATED EXTERIOR ELEVATIONS
A3.1 RENOVATED SCHEMATIC BUILDING SECTIONS
A4.1 ENLARGED TOILET PLANS AND DETAILS
A6.1 DOOR AND HARDWARE SCHEDULES
A6.2 DOOR SCHEDULE AND DOOR ELEVATIONS
A6.3 DOOR SCHEDULE AND DOOR DETAILS

STRUCTURAL

- S001 COVER SHEET
S100 HELICAL PILE PLAN
S101 FOUNDATION SECTIONS AND DETAILS
S102 FOUNDATION SECTIONS AND DETAILS
S200 BASEMENT LEVEL
S201 TYPICAL LEVEL ATTACHMENT
S202 WALL SECTIONS AND DETAILS
S203 WATER TANK DETAILS
S300 APPROXIMATE EXISTING ROOF FRAMING
S301 LEVEL 12 BAR FLOOR FRAMING PLAN
S302 LEVEL 12 BAR ROOF FRAMING PLAN
S303 LEVEL 12 BAR SECTIONS AND DETAILS
S304 LEVEL 12 BAR SECTIONS AND DETAILS
S400 NOTES
S401 NOTES
S402 SPECIAL INSPECTIONS

PLUMBING

- P1.0 RENOVATED PLUMBING PLAN BASEMENT LEVEL WASTE AND VENT PIPING
P1.1 RENOVATED PLUMBING PLAN FIRST FLOOR WASTE AND VENT PIPING
P1.2 RENOVATED PLUMBING PLAN SECOND FLOOR WASTE AND VENT PIPING
P1.3 RENOVATED PLUMBING PLAN THIRD FLOOR WASTE AND VENT PIPING
P1.4 RENOVATED PLUMBING PLAN FOURTH FLOOR WASTE AND VENT PIPING
P1.5 RENOVATED PLUMBING PLAN FIFTH FLOOR WASTE AND VENT PIPING
P1.6 RENOVATED PLUMBING PLAN SIXTH FLOOR WASTE AND VENT PIPING
P1.7 RENOVATED PLUMBING PLAN SEVENTH FLOOR WASTE AND VENT PIPING
P1.8 RENOVATED PLUMBING PLAN EIGHTH FLOOR WASTE AND VENT PIPING
P1.9 RENOVATED PLUMBING PLAN NINTH FLOOR WASTE AND VENT PIPING
P1.10 RENOVATED PLUMBING PLAN TENTH FLOOR WASTE AND VENT PIPING
P1.11 RENOVATED PLUMBING PLAN ELEVENTH FLOOR WASTE AND VENT PIPING
P1.12 RENOVATED PLUMBING PLAN TWELFTH FLOOR WASTE AND VENT PIPING
P1.13 RENOVATED PLUMBING PLAN UPPER ROOF WASTE AND VENT PIPING
P1.14 RENOVATED PLUMBING PLAN BASEMENT LEVEL WATER AND GAS PIPING
P1.15 RENOVATED PLUMBING PLAN FIRST FLOOR WATER AND GAS PIPING
P1.16 RENOVATED PLUMBING PLAN SECOND FLOOR WATER AND GAS PIPING
P1.17 RENOVATED PLUMBING PLAN THIRD FLOOR WATER AND GAS PIPING
P1.18 RENOVATED PLUMBING PLAN FOURTH FLOOR WATER AND GAS PIPING
P1.19 RENOVATED PLUMBING PLAN FIFTH FLOOR WATER AND GAS PIPING
P1.20 RENOVATED PLUMBING PLAN SIXTH FLOOR WATER AND GAS PIPING
P1.21 RENOVATED PLUMBING PLAN SEVENTH FLOOR WATER AND GAS PIPING
P1.22 RENOVATED PLUMBING PLAN EIGHTH FLOOR WATER AND GAS PIPING
P1.23 RENOVATED PLUMBING PLAN NINTH FLOOR WATER AND GAS PIPING
P1.24 RENOVATED PLUMBING PLAN TENTH FLOOR WATER AND GAS PIPING

PLUMBING (CONTINUED)

- P1.25 RENOVATED PLUMBING PLAN ELEVENTH FLOOR WATER AND GAS PIPING
P1.26 RENOVATED PLUMBING PLAN TWELFTH FLOOR WATER AND GAS PIPING
P1.27 RENOVATED PLUMBING PLAN UPPER ROOF WATER AND GAS PIPING
P2.1 PLUMBING SCHEDULES, NOTES & LEGEND
P2.2 PLUMBING DETAILS
P2.3 WATER AND NATURAL GAS PIPING RISERS
P2.4 SOVENT SYSTEM DETAILS & RISERS
P3.1 PLUMBING SPECIFICATIONS

MECHANICAL

- M1.0 RENOVATED HVAC PLAN BASEMENT LEVEL
M1.1 RENOVATED HVAC PLAN FIRST FLOOR
M1.2 RENOVATED HVAC PLAN SECOND FLOOR
M1.3 RENOVATED HVAC PLAN THIRD FLOOR
M1.4 RENOVATED HVAC PLAN FOURTH FLOOR
M1.5 RENOVATED HVAC PLAN FIFTH FLOOR
M1.6 RENOVATED HVAC PLAN SIXTH FLOOR
M1.7 RENOVATED HVAC PLAN SEVENTH FLOOR
M1.8 RENOVATED HVAC PLAN EIGHTH FLOOR
M1.9 RENOVATED HVAC PLAN NINTH FLOOR
M1.10 RENOVATED HVAC PLAN TENTH FLOOR
M1.11 RENOVATED HVAC PLAN ELEVENTH FLOOR
M1.12 RENOVATED HVAC PLAN TWELFTH FLOOR
M1.13 RENOVATED HVAC PLAN UPPER ROOF
M2.1 HVAC SCHEDULES, NOTES & LEGEND
M2.2 HVAC SCHEDULES, NOTES & LEGEND
M2.3 HVAC DETAILS
M2.4 HVAC DETAILS
M2.5 HVAC DETAILS
M2.6 HVAC SYSTEM SCHEMATICS HP-0A & HP-2/3E
M2.7 HVAC SYSTEM SCHEMATICS HP-0B
M2.8 HVAC SYSTEM SCHEMATICS HP-1
M2.9 HVAC SYSTEM SCHEMATICS HP-2/3N & HP-2/3W
M2.10 HVAC SYSTEM SCHEMATICS HP-4/5W & HP-4/5E
M2.11 HVAC SYSTEM SCHEMATICS HP-6/7W & HP-6/7E
M2.12 HVAC SYSTEM SCHEMATICS HP-8/9W & HP-8/9E
M2.13 HVAC SYSTEM SCHEMATICS HP-10/11W & HP-10/11E
M2.13 HVAC SYSTEM SCHEMATICS HP-12-1 & HP-DOAS-2
M3.1 HVAC SPECIFICATIONS
M3.2 HVAC SPECIFICATIONS
M3.3 HVAC SPECIFICATIONS
M3.4 HVAC SPECIFICATIONS

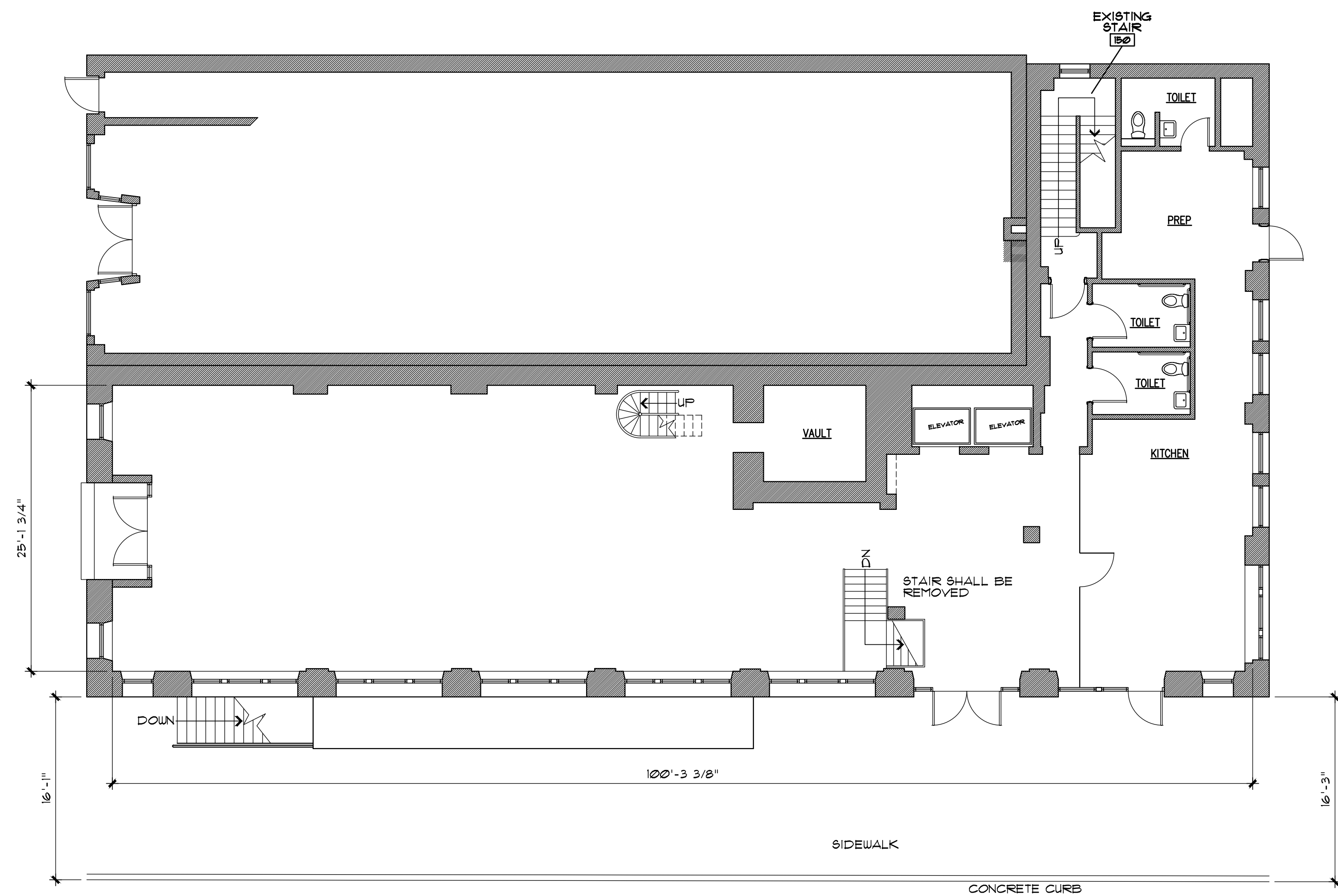
ELECTRICAL

- E1 BASEMENT LIGHTING & POWER PLAN
E2 FIRST FLOOR LIGHTING & POWER PLAN
E3 SECOND FLOOR LIGHTING & POWER PLAN
E4 THIRD FLOOR LIGHTING & POWER PLAN
E5 FOURTH FLOOR LIGHTING & POWER PLAN
E6 FIFTH FLOOR LIGHTING & POWER PLAN
E7 SIXTH FLOOR LIGHTING & POWER PLAN
E8 SEVENTH FLOOR LIGHTING & POWER PLAN
E9 EIGHTH FLOOR LIGHTING & POWER PLAN
E10 NINTH FLOOR LIGHTING & POWER PLAN
E11 TENTH FLOOR LIGHTING & POWER PLAN
E12 ELEVENTH FLOOR LIGHTING & POWER PLAN
E13 TWELFTH FLOOR LIGHTING & POWER PLAN
E14 ROOF LIGHTING & POWER PLAN
E15 BASEMENT MECHANICAL PLAN
E16 FIRST FLOOR MECHANICAL PLAN
E17 SECOND FLOOR MECHANICAL PLAN
E18 THIRD FLOOR MECHANICAL PLAN
E19 FOURTH FLOOR MECHANICAL PLAN
E20 FIFTH FLOOR MECHANICAL PLAN
E21 SIXTH FLOOR MECHANICAL PLAN
E22 SEVENTH FLOOR MECHANICAL PLAN
E23 EIGHTH FLOOR MECHANICAL PLAN
E24 NINTH FLOOR MECHANICAL PLAN
E25 TENTH FLOOR MECHANICAL PLAN
E26 ELEVENTH FLOOR MECHANICAL PLAN
E27 TWELFTH FLOOR MECHANICAL PLAN
E28 ROOF MECHANICAL PLAN
E29 BASEMENT FIRE ALARM PLAN
E30 FIRST FLOOR FIRE ALARM PLAN
E31 SECOND FLOOR FIRE ALARM PLAN
E32 THIRD FLOOR FIRE ALARM PLAN
E33 FOURTH FLOOR FIRE ALARM PLAN
E34 FIFTH FLOOR FIRE ALARM PLAN
E35 SIXTH FLOOR FIRE ALARM PLAN
E36 SEVENTH FLOOR FIRE ALARM PLAN
E37 EIGHTH FLOOR FIRE ALARM PLAN
E38 NINTH FLOOR FIRE ALARM PLAN
E39 TENTH FLOOR FIRE ALARM PLAN
E40 ELEVENTH FLOOR FIRE ALARM PLAN
E41 TWELFTH FLOOR FIRE ALARM PLAN
E42 ROOF FIRE ALARM PLAN
E43 BASEMENT POWER PLAN
E44 FIRST FLOOR POWER PLAN
E45 FA SCHEDULES & DETAILS 1
E46 SCHEDULES & DETAILS 2
E47 SCHEDULES & DETAILS 3
E48 SCHEDULES & DETAILS 4
E49 SCHEDULES 5
E50 POWER RISER

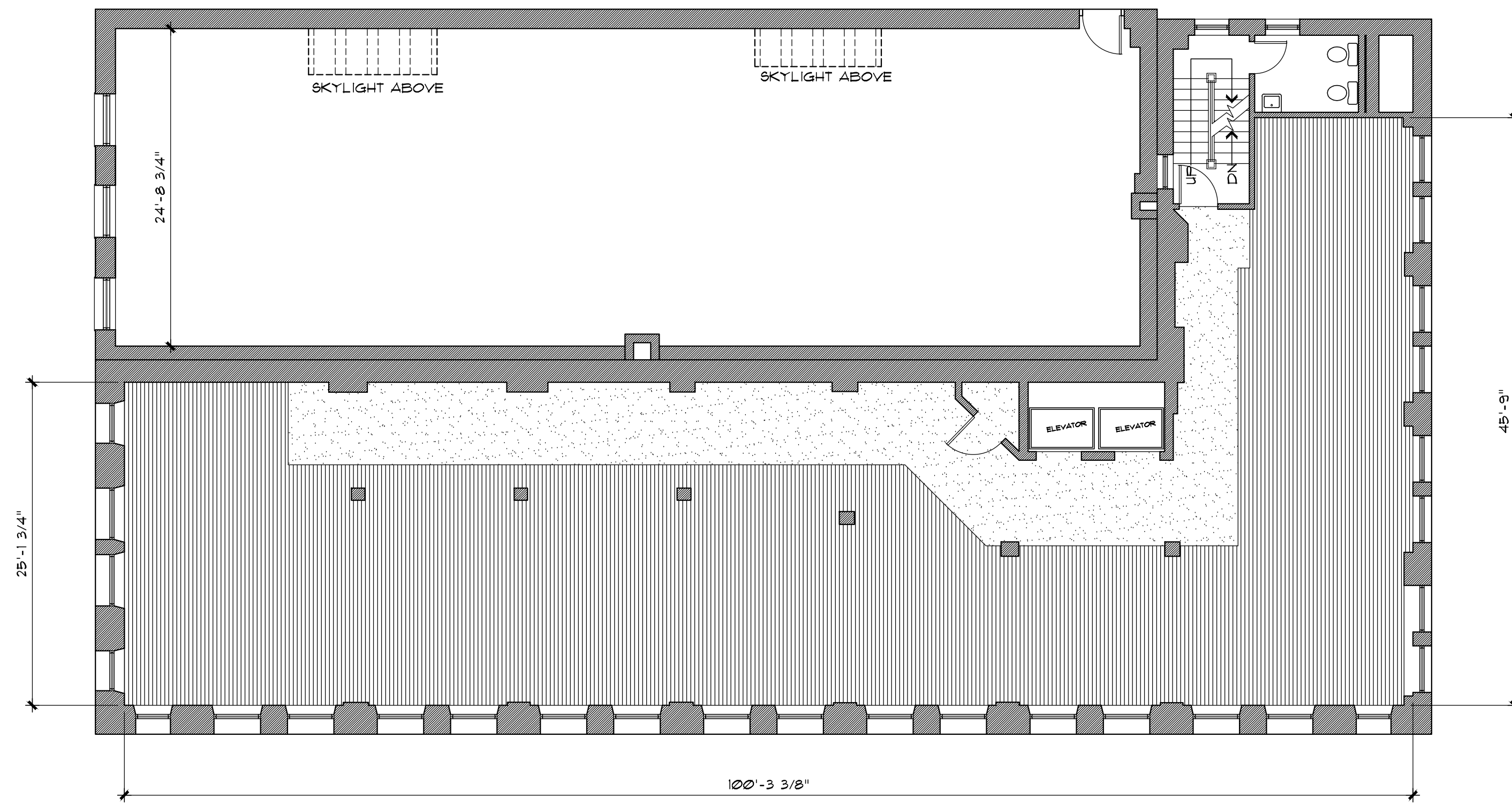
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Vertical sidebar containing project title 'MOXY by MARRIOTT RENOVATIONS TO 1200 / 1202 MAIN STREET COLUMBIA, SOUTH CAROLINA', drawing title 'PROJECT DIRECTORY AND DRAWING INDEX', drawing number 'G0.1', date 'AUGUST 31, 2022', and various professional seals and stamps.

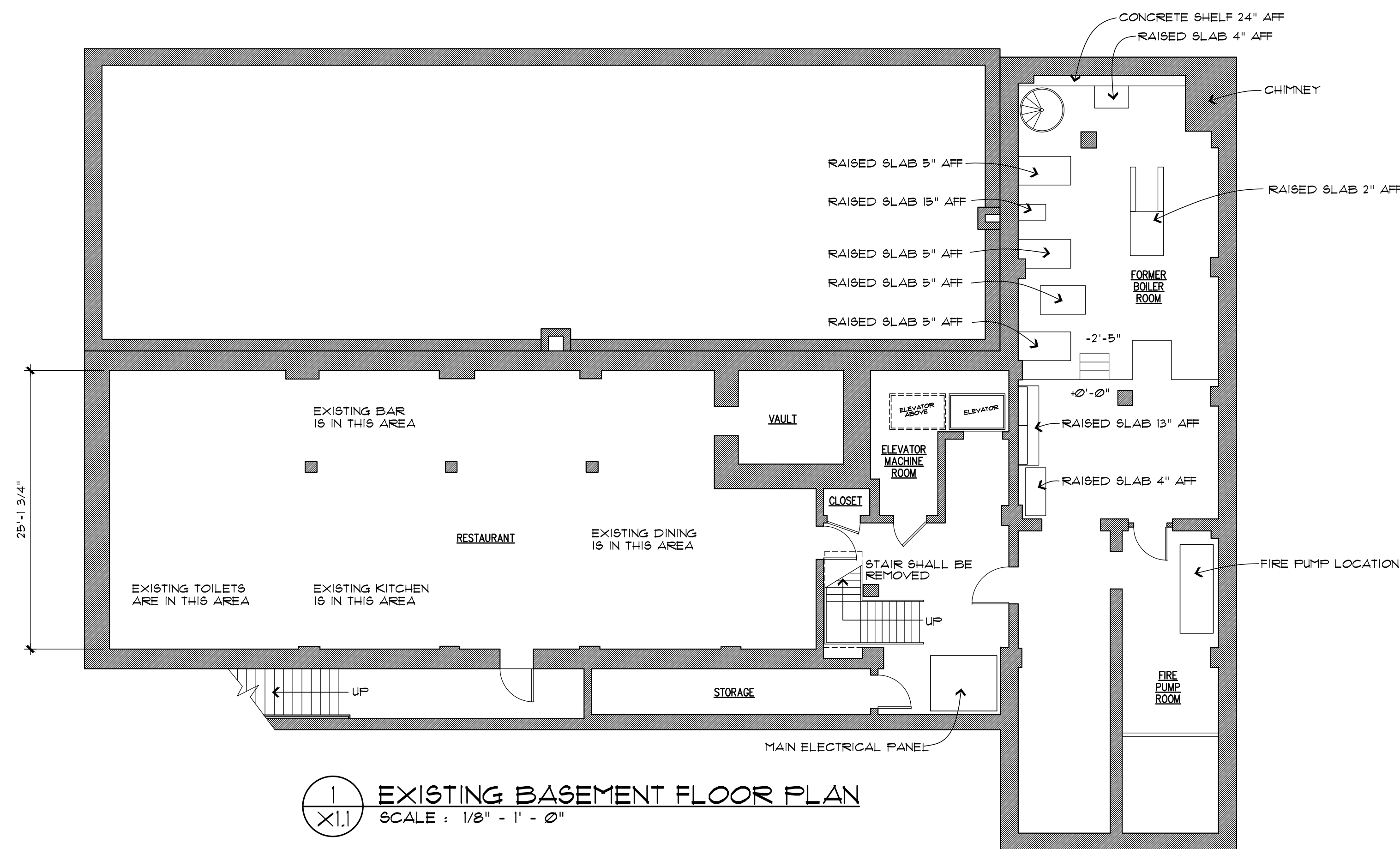
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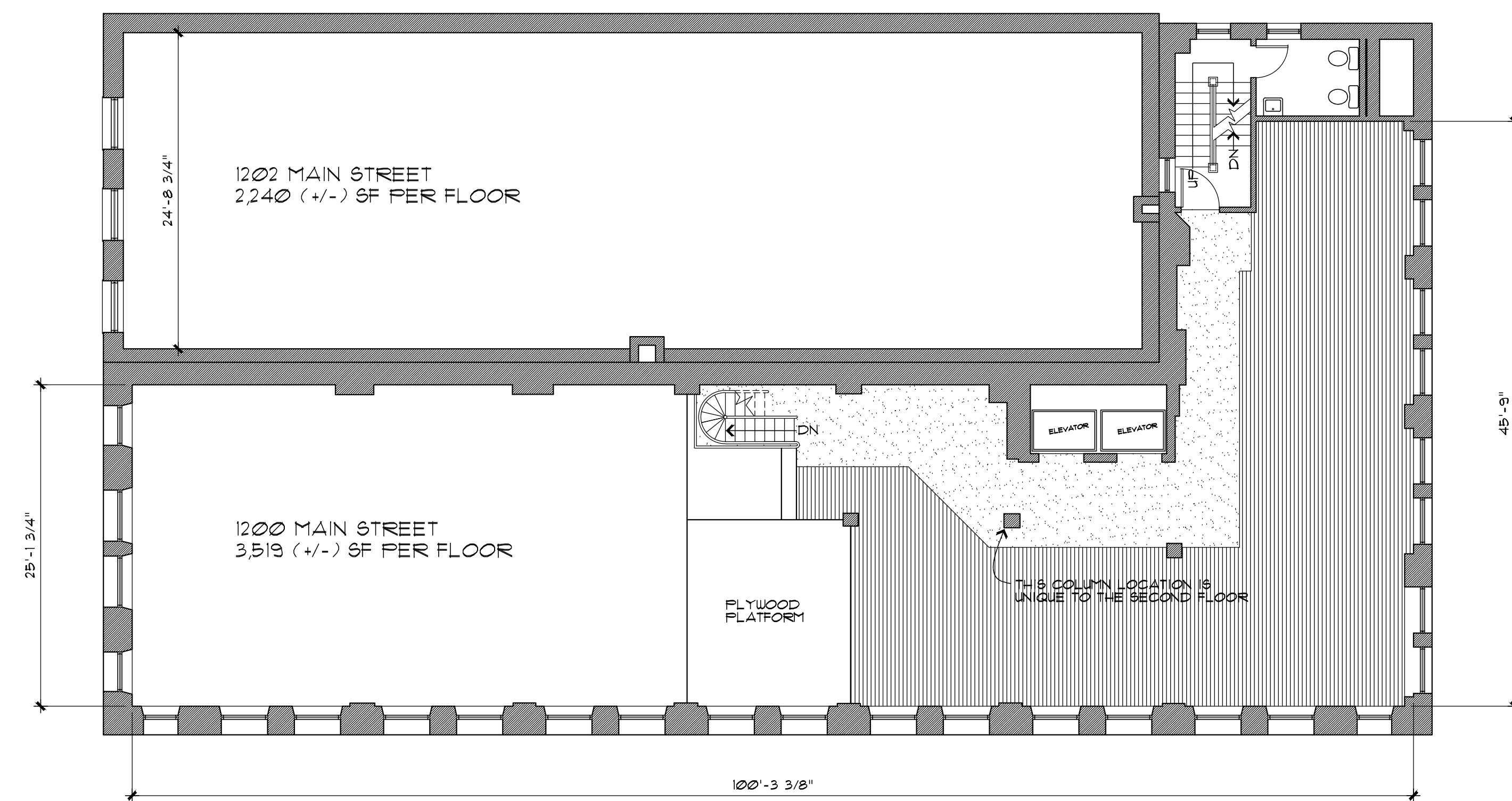
2 EXISTING FIRST FLOOR PLAN
 SCALE: 1/8" = 1' - 0"



4 EXISTING THIRD FLOOR PLAN
 SCALE: 1/8" = 1' - 0"



1 EXISTING BASEMENT FLOOR PLAN
 SCALE: 1/8" = 1' - 0"



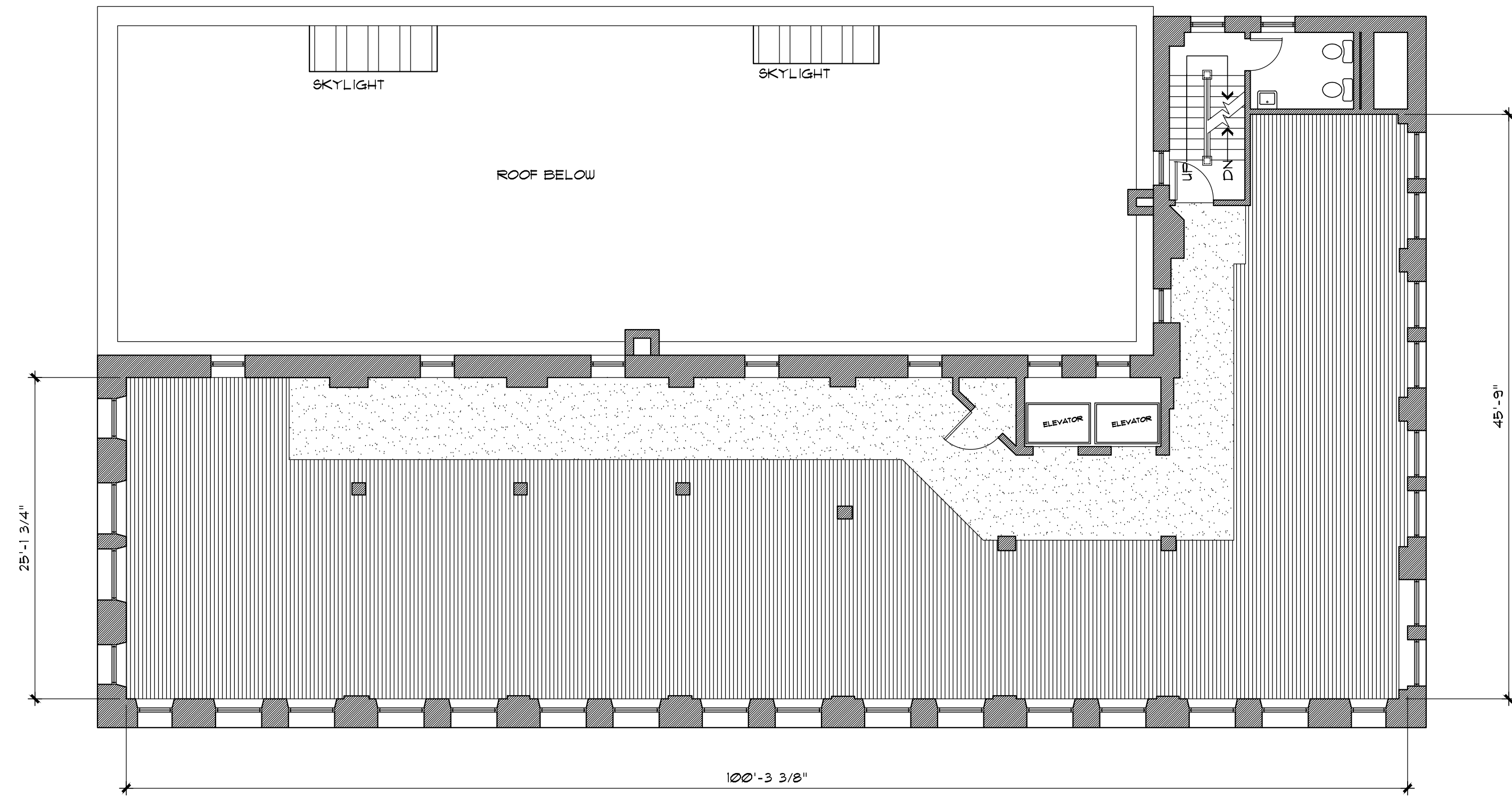
3 EXISTING SECOND FLOOR PLAN
 SCALE: 1/8" = 1' - 0"

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 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13

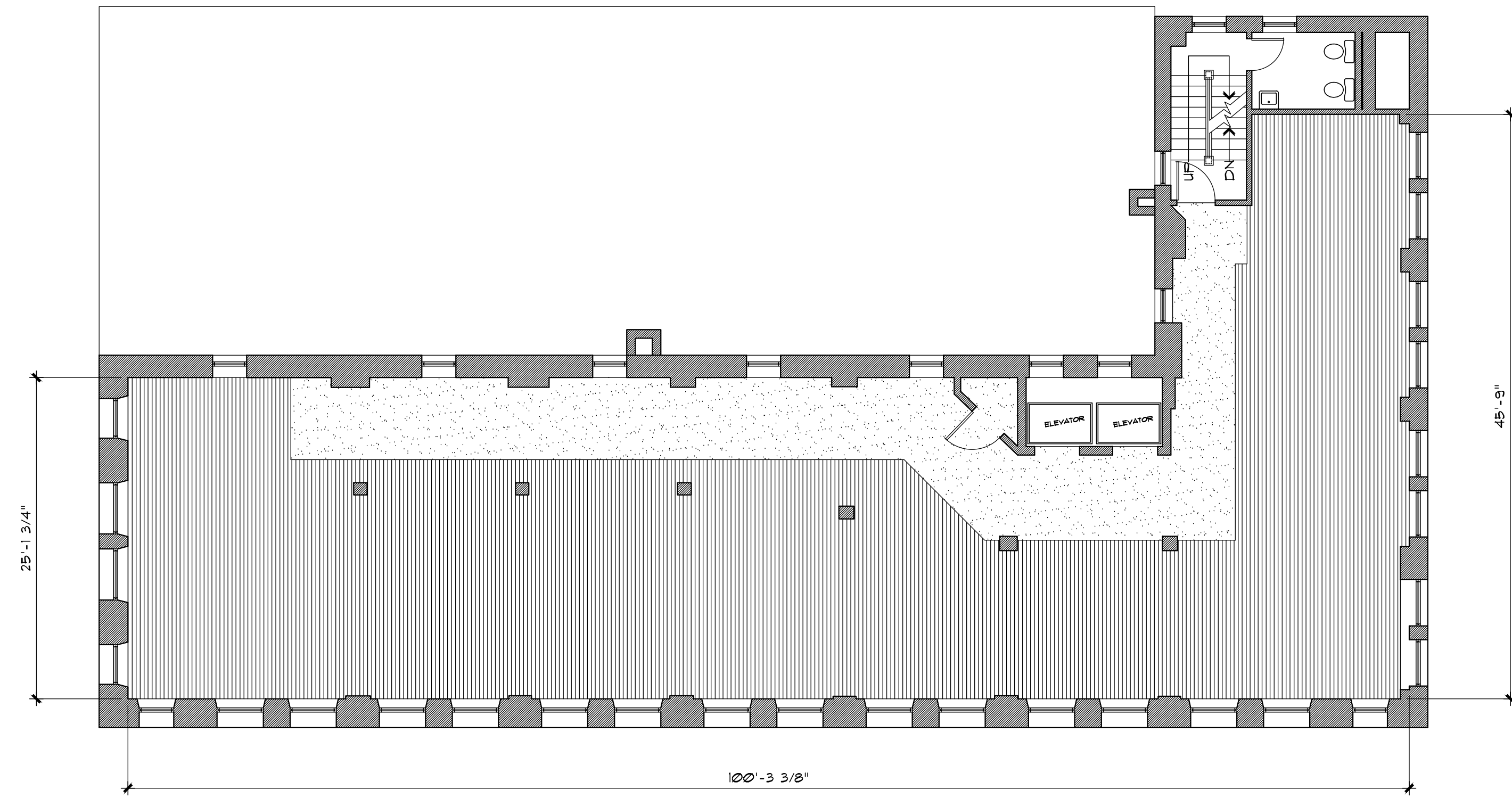
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| Date | |
| | |
| Revision | |
| | |
| No. | |
| | |
| Seal | |
| | |
| Project Title | MOXY by MARRIOTT RENOVATIONS TO 1200 / 1202 MAIN STREET CIRCA 1950 COLUMBIA, SOUTH CAROLINA |
| | MOXY |
| Drawing Title | EXISTING BASEMENT, FIRST SECOND AND THIRD FLOOR PLANS |
| | Consultant |
| Drawn By | OTTO |
| Date | AUGUST 31, 2022 |
| Drawing No. | X1.1 |

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 ARCHITECT, INC.
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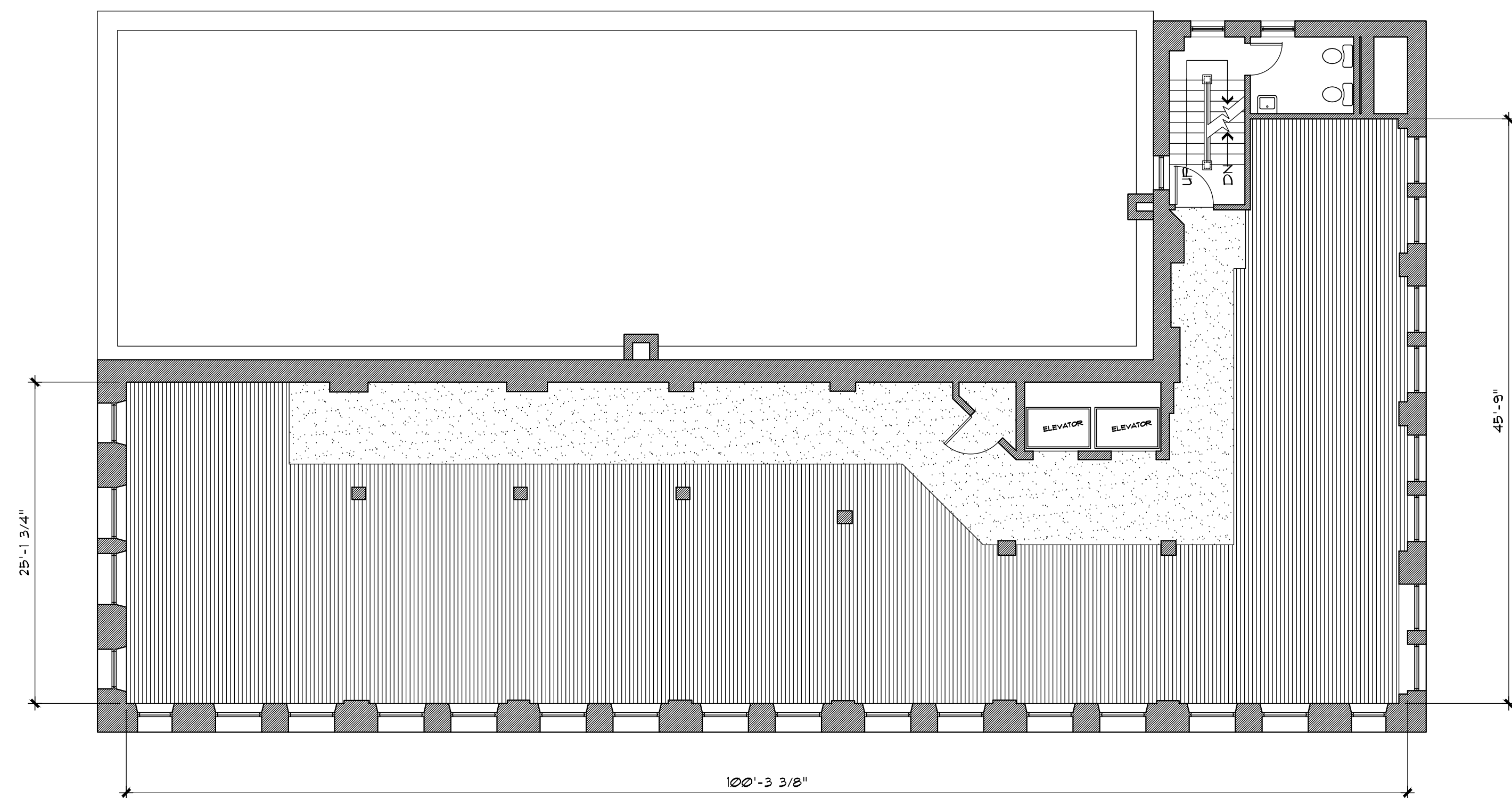
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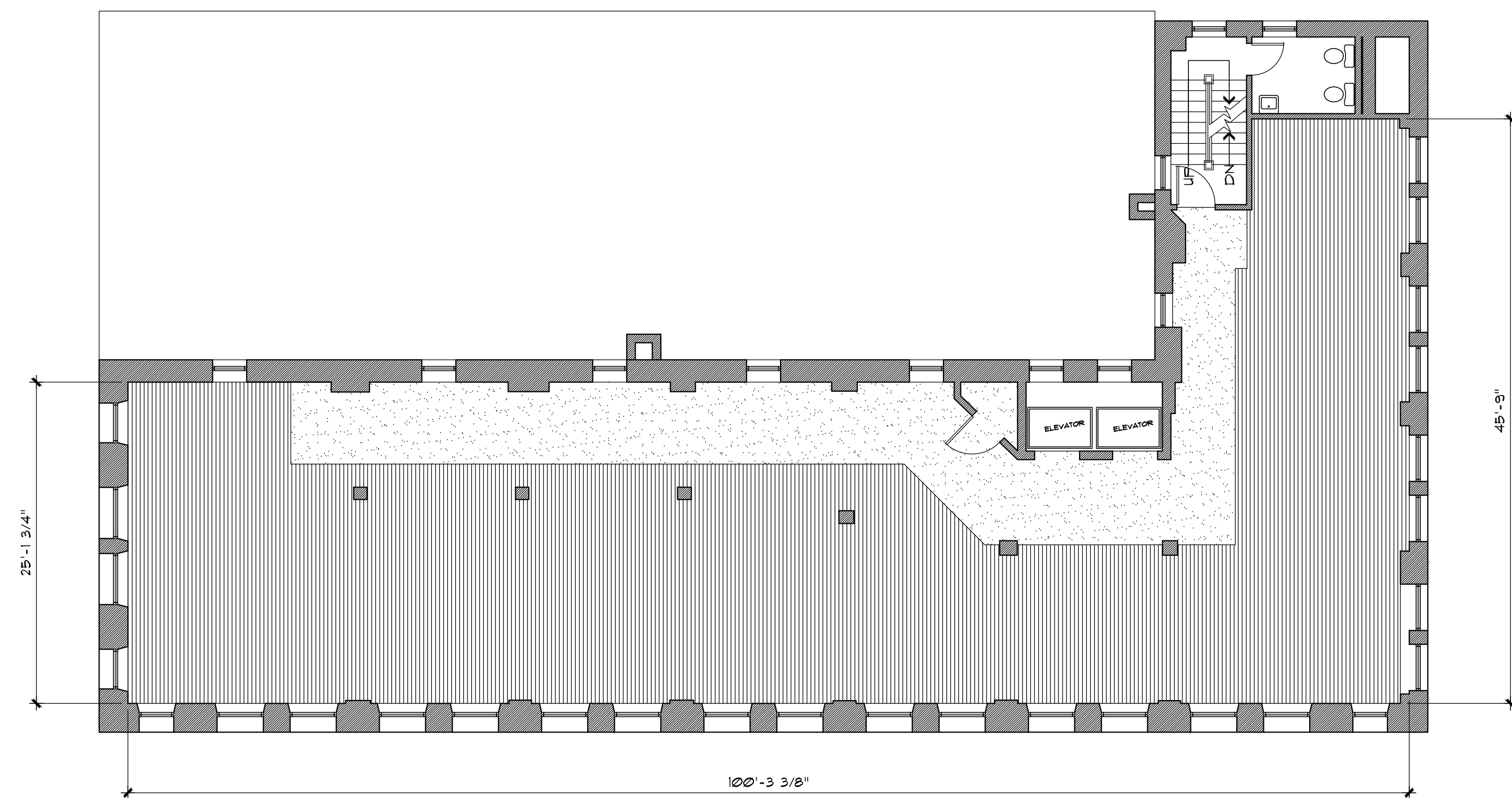
2 EXISTING FIFTH FLOOR PLAN
 SCALE: 1/8" = 1' - 0"



4 EXISTING SEVENTH FLOOR PLAN
 SCALE: 1/8" = 1' - 0"



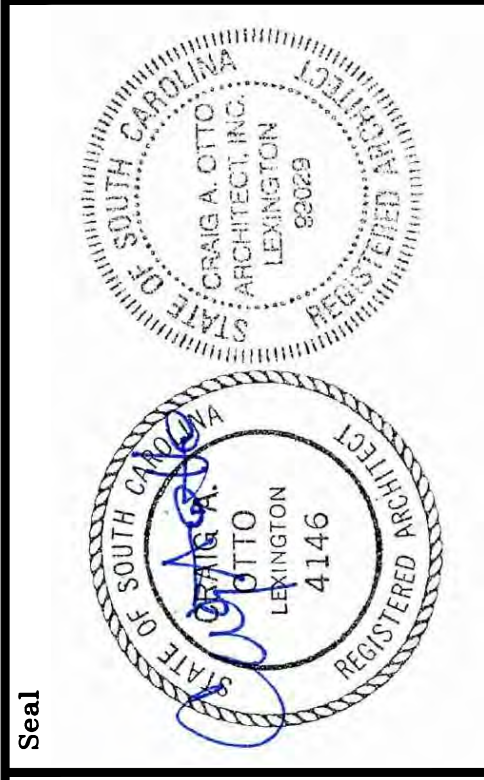
1 EXISTING FOURTH FLOOR PLAN
 SCALE: 1/8" = 1' - 0"



3 EXISTING SIXTH FLOOR PLAN
 SCALE: 1/8" = 1' - 0"

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN
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 SYSTEM INSTALLED THROUGHOUT
 PER IBC 903.3.1.1 AND NFPA 13

| No. | Revision | Date |
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Moxy
 MOXY by MARRIOTT
 RENOVATIONS TO 1207 / 1202 MAIN STREET
 CIRCA 195
 COLUMBIA, SOUTH CAROLINA

Drawing Title
 EXISTING FOURTH, FIFTH, SIXTH
 AND SEVENTH FLOOR PLANS

Drawn By
 OTTO

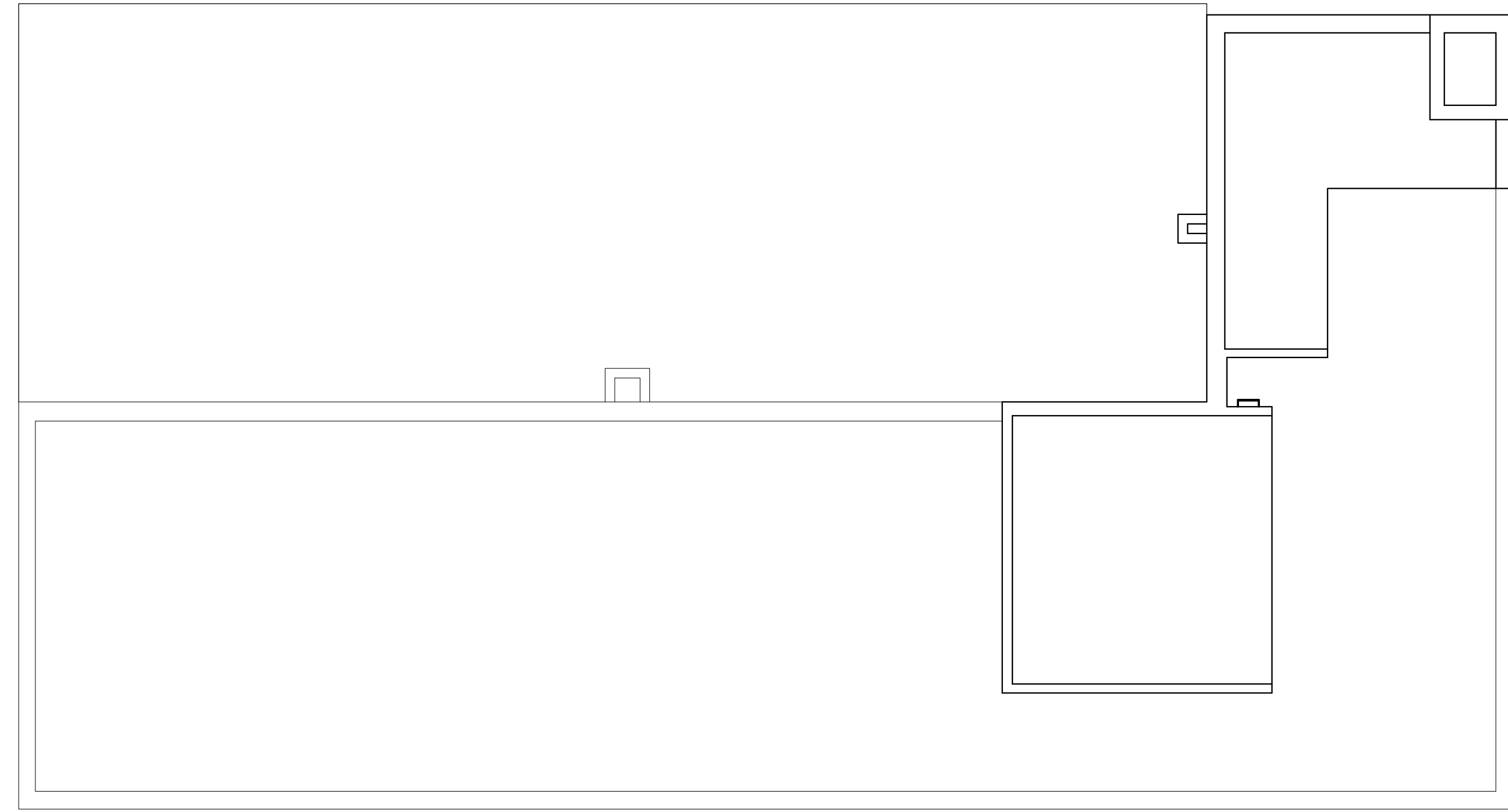
Date
 AUGUST 31, 2022

Consultant

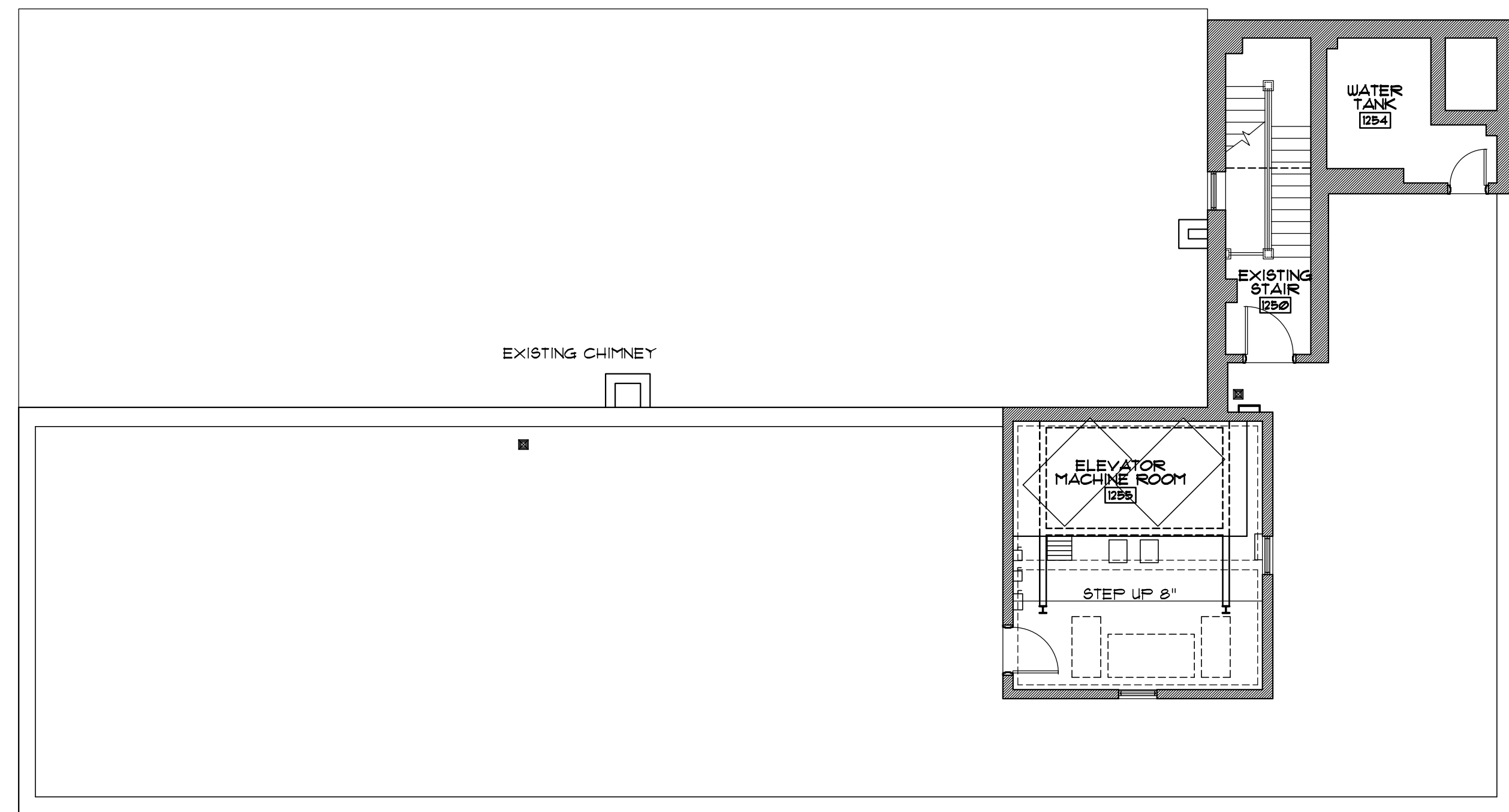
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Drawing No.
X1.2

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2 EXISTING UPPER ROOF PLAN
 SCALE: 1/8" = 1' - 0"



1 EXISTING TWELFTH FLOOR / MAIN ROOF PLAN
 SCALE: 1/8" = 1' - 0"

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN
 AN AUTOMATIC FIRE SPRINKLER
 SYSTEM INSTALLED THROUGHOUT
 PER IBC 903.3.1.1 AND NFPA 13

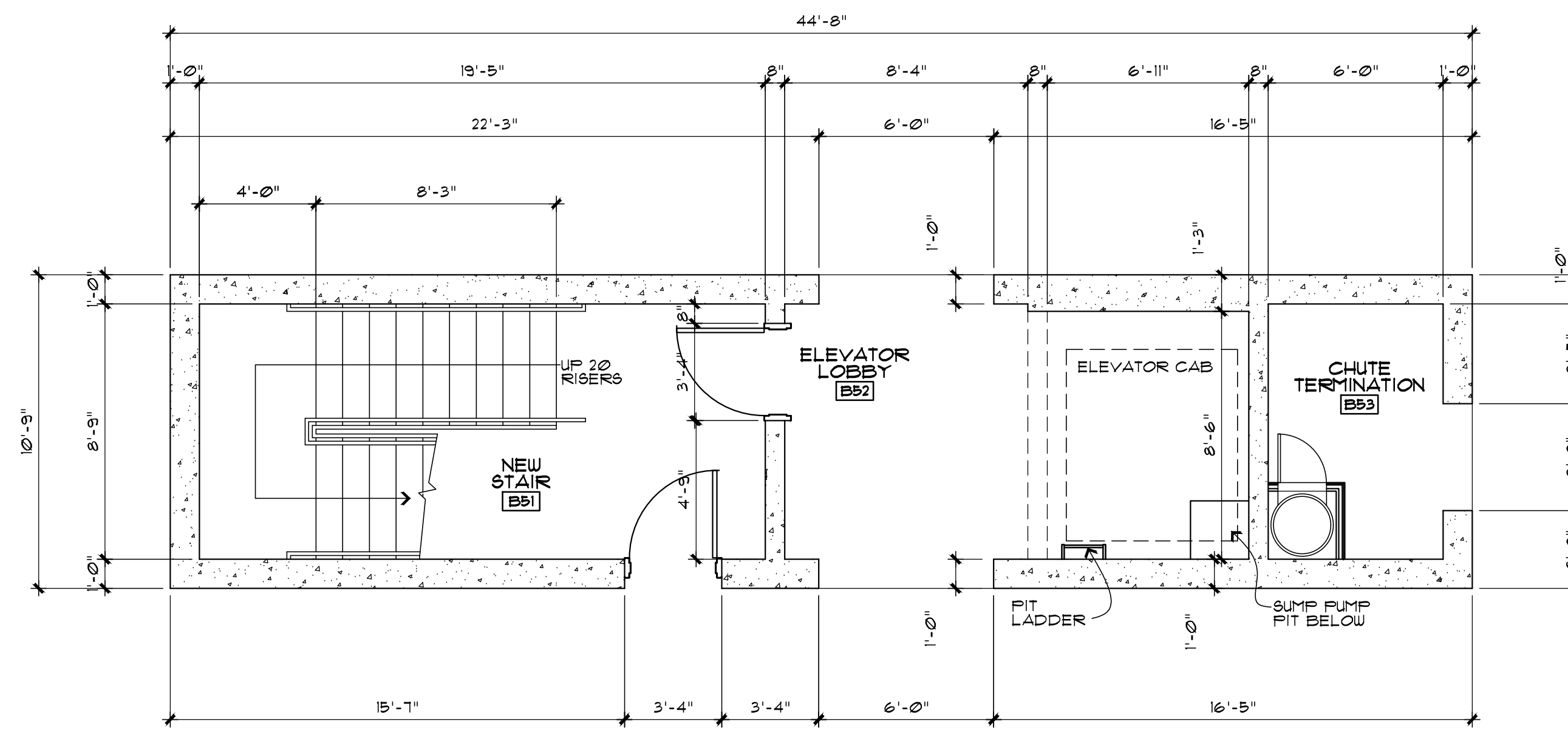
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|---------------|--|
| Drawing Title | EXISTING TWELFTH FLOOR AND ROOF PLANS |
| | Consultant |
| Drawn By | OTTO |
| Date | AUGUST 31, 2022 |
| Drawing No. | X1.4 |
| Project Title | MOXY by MARRIOTT RENOVATIONS TO 1200 / 1202 MAIN STREET CIRCA 1951 COLUMBIA, SOUTH CAROLINA |
| Seal | |
| Revision | |
| Date | |

Craig A. Otto
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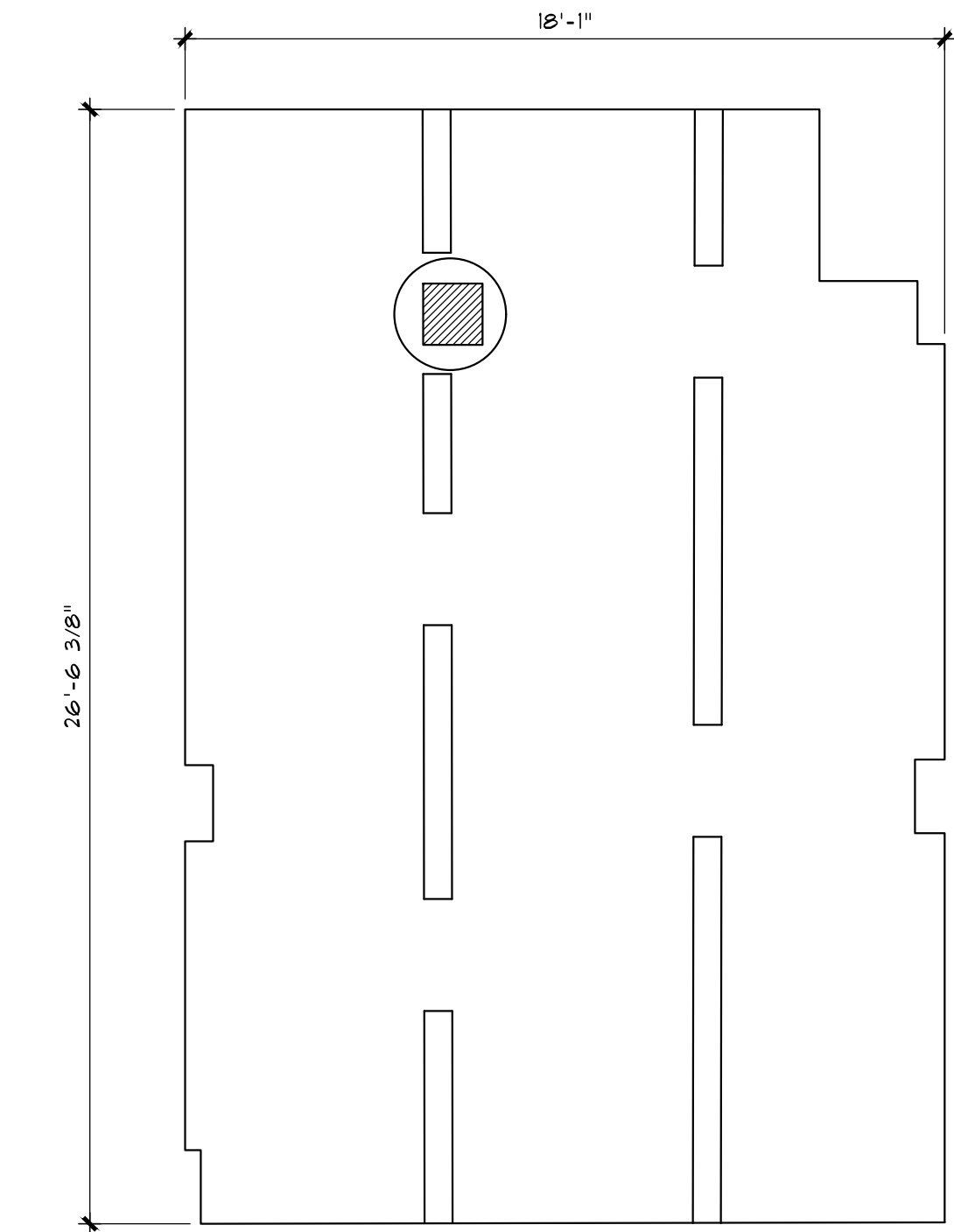
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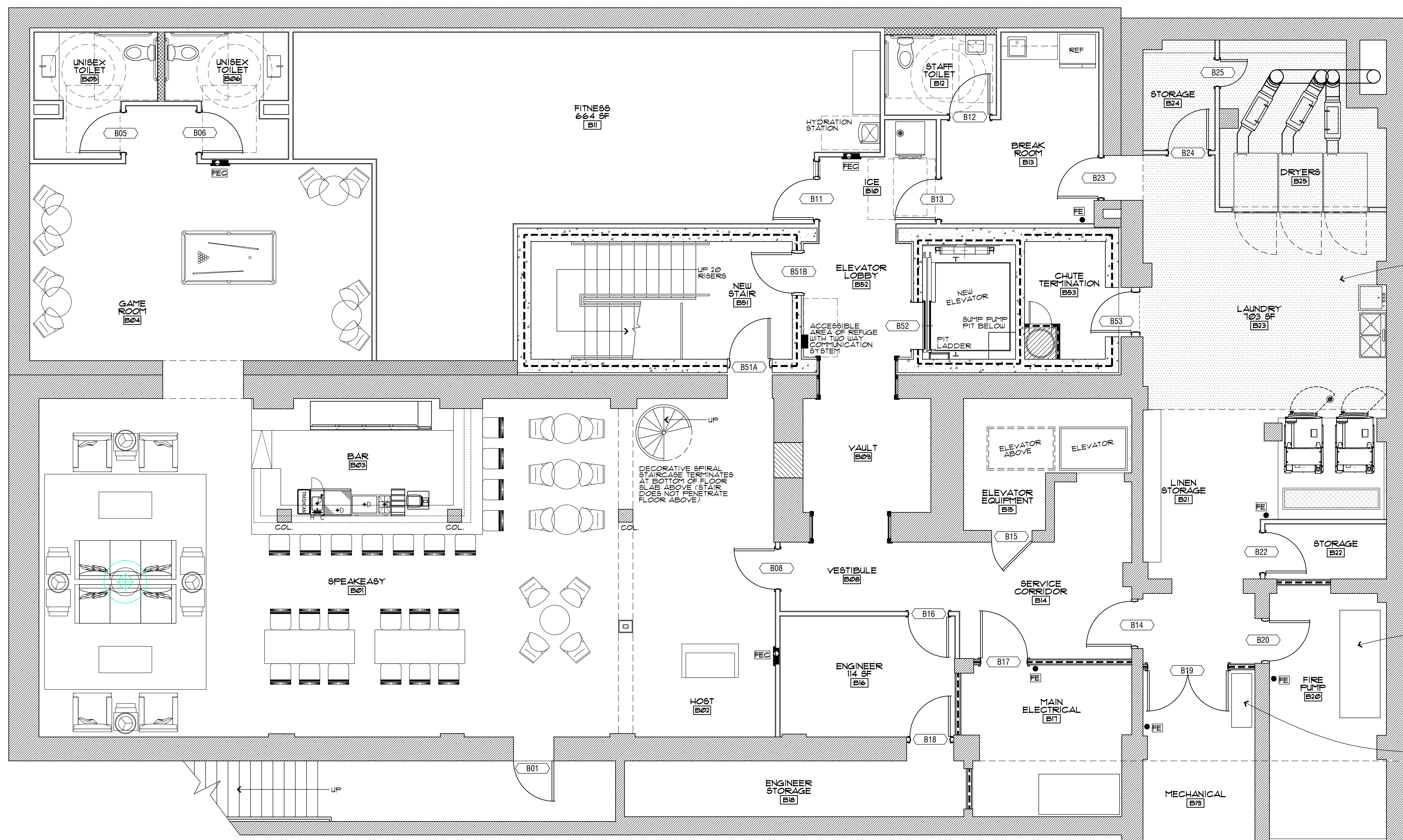


2 STAIR / ELEVATOR SHAFT DETAILED PLAN
 SCALE: 1/4" = 1' - 0"



3 EMERGENCY RESERVE TANK DIAGRAM
 SCALE: 1/4" = 1' - 0"

EMERGENCY FIRE SPRINKLER SYSTEM RESERVE CALCULATIONS:
 SURFACE AREA = 46329 SQUARE FEET
 DEPTH OF STRUCTURE = 2'-5"
 GROSS VOLUME = 11832 CUBIC FEET
 NET VOLUME (REMOVED STRUCTURAL COMPONENTS) = 1055.62 CF
 TOTAL VOLUME OF WATER = 1055.62 CF x 7.48052 GALLONS PER CUBIC FOOT = 7896.61 GALLONS



1 RENOVATED BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1' - 0"
 6,358 +/- SQUARE FEET

| SYMBOL LEGEND | |
|---------------|--|
| | 1 HOUR RATED WALL |
| | 2 HOUR RATED WALL |
| | 2 HOUR RATED SHAFT |
| | LOCATION OF 6" METAL STUDS AT 16" O.C. |
| | FIRE EXTINGUISHER WITH CABINET |
| | FIRE EXTINGUISHER WITH BRACKET |

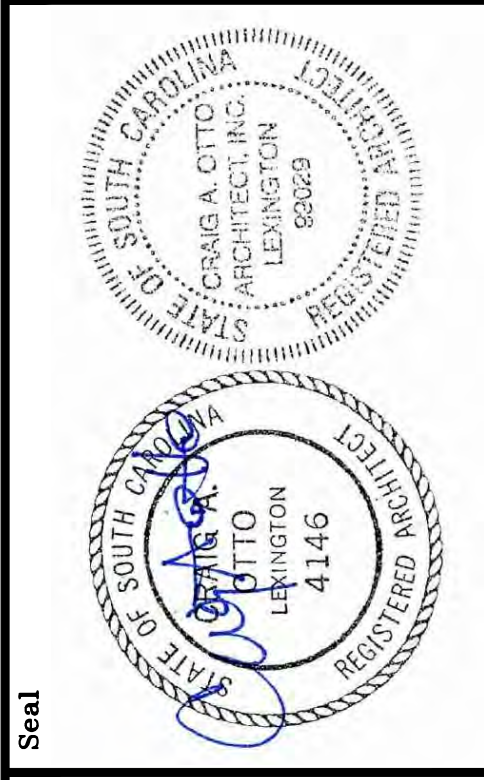
NOTE: FIRE EXTINGUISHERS SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEW AND MUST BE INSTALLED IN CONSPICUOUS LOCATIONS. CABINETS SHALL BE PROVIDED WITH A MEANS OF READY ACCESS AND SHALL NOT BE LOCKED

THIS SLAB SHALL BE RAISED TO THE SAME LEVEL AS ELEVATION 0'-0" (FOR EMERGENCY FIRE SPRINKLER SYSTEM RESERVE)

FIRE PUMP LOCATION

FIRE PUMP CONTROLS

| Date | Revision | No. |
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Craig A. Otto
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 Lexington, South Carolina 29072
 Phone (803) 857-0004
 craig@ottoarchitect.com

MOXY by MARRIOTT
 RENOVATIONS TO 1200 / 1202 MAIN STREET
 CIRCA 905
 COLUMBIA, SOUTH CAROLINA

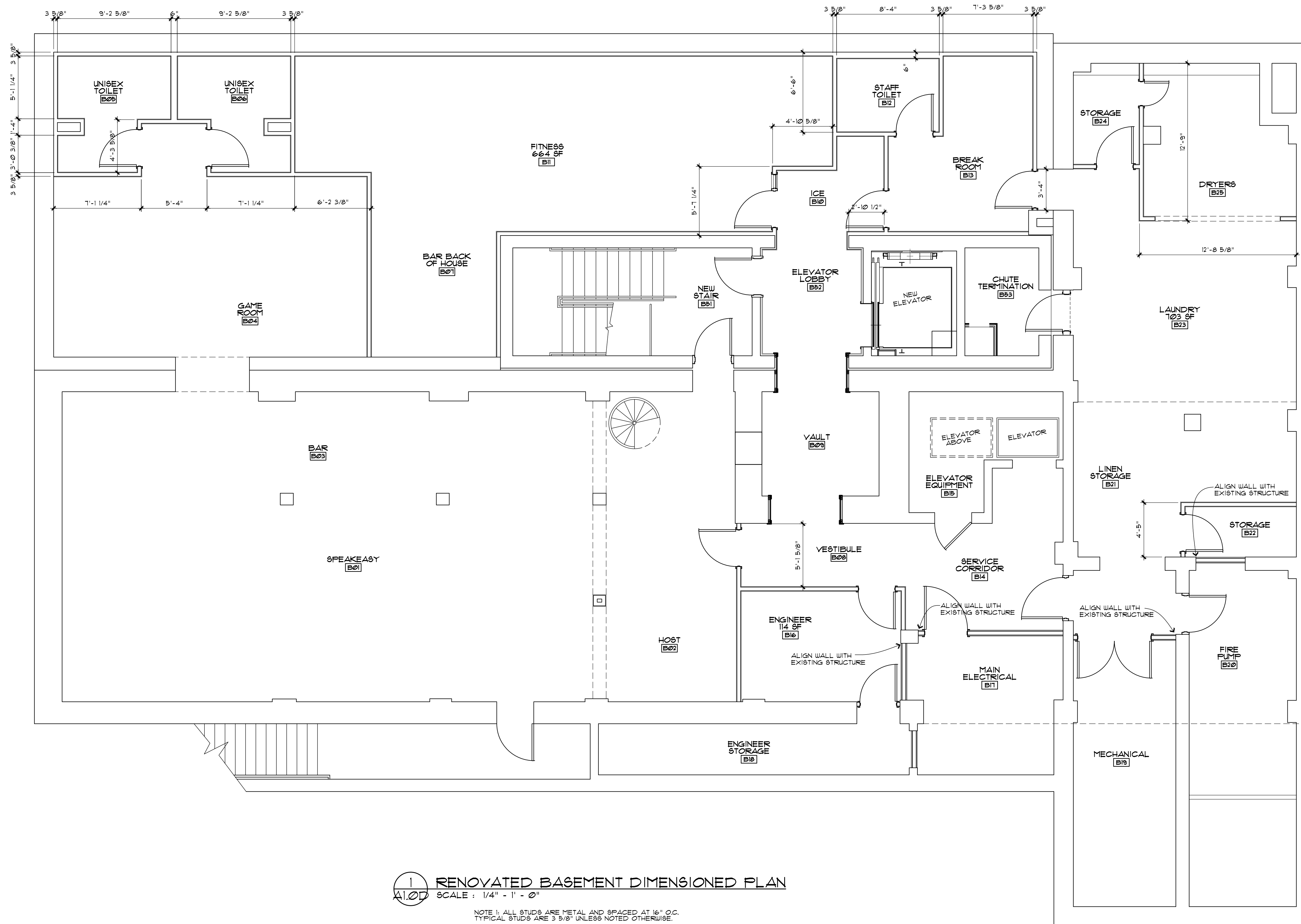
Project Title
 RENOVATED BASEMENT FLOOR PLAN
 Consultant
 OTTO

Drawn By
 Date
 AUGUST 31, 2022

Drawing No.
A1.0

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13

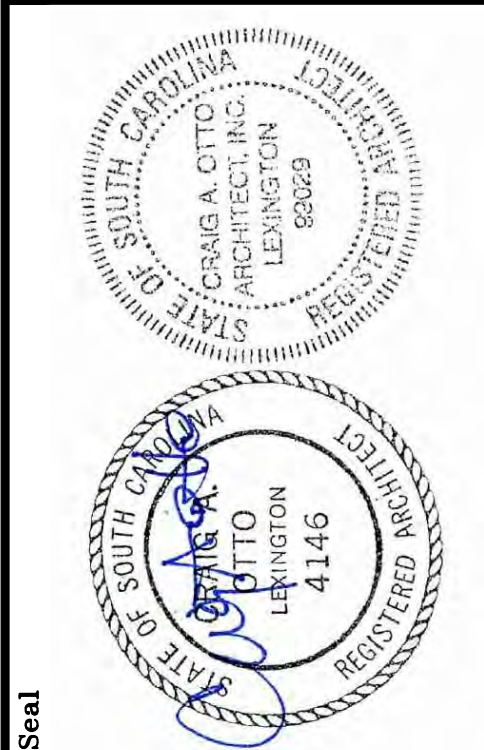
NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
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1 RENOVATED BASEMENT DIMENSIONED PLAN
 SCALE: 1/4" = 1' - 0"

NOTE 1: ALL STUDS ARE METAL AND SPACED AT 16" O.C.
 TYPICAL STUDS ARE 3 5/8" UNLESS NOTED OTHERWISE.

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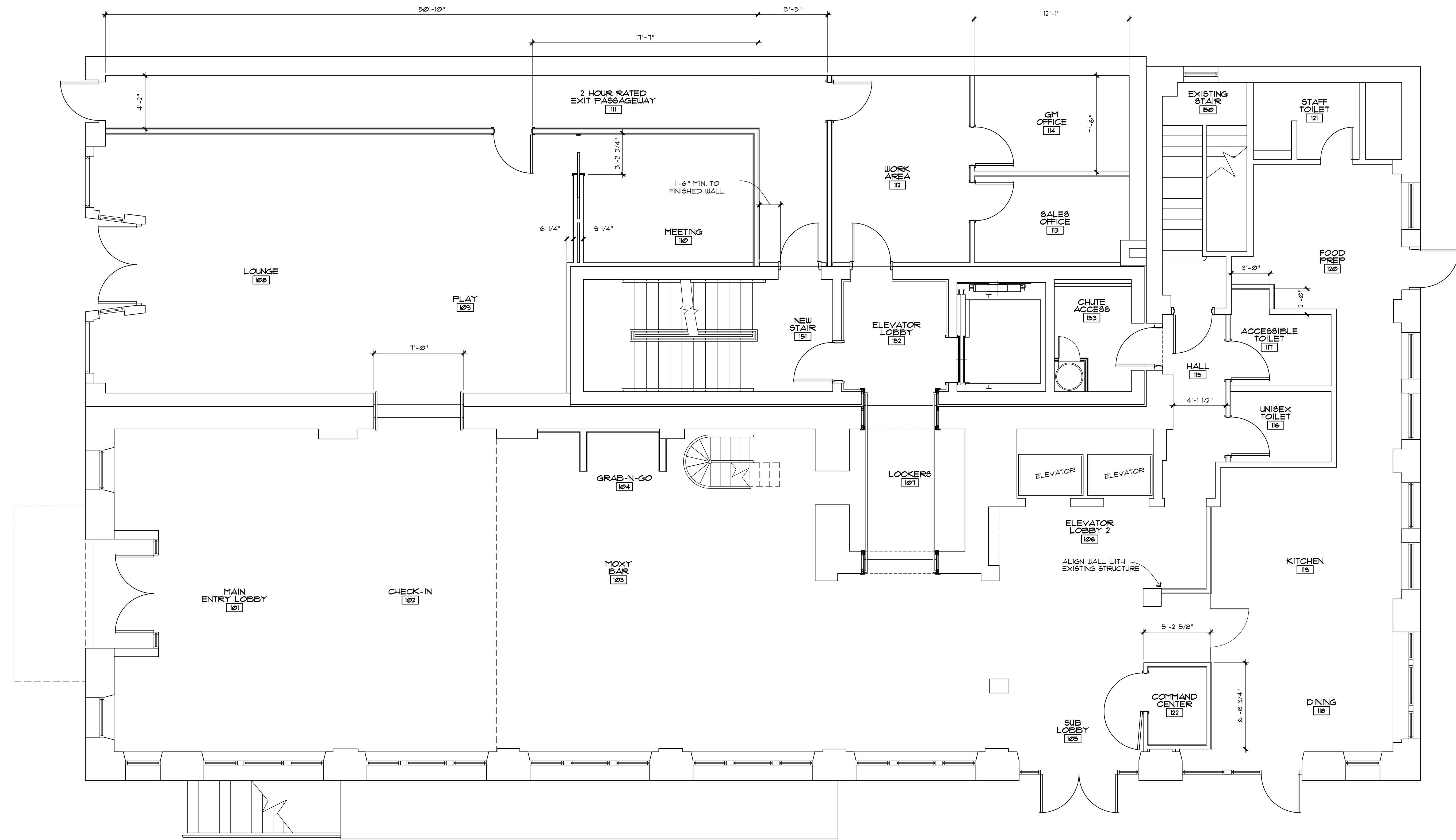
MOXY by MARRIOTT
 RENOVATIONS TO 1200 / 1202 MAIN STREET
 CIRCA 915
 COLUMBIA, SOUTH CAROLINA

Project Title: RENOVATED BASEMENT DIMENSIONED FLOOR PLAN
 Drawing Title: RENOVATED BASEMENT DIMENSIONED FLOOR PLAN
 Consultant: Otto Levington
 Drawn By: OTTO
 Date: AUGUST 31, 2022

Drawing No. **A1.0D**

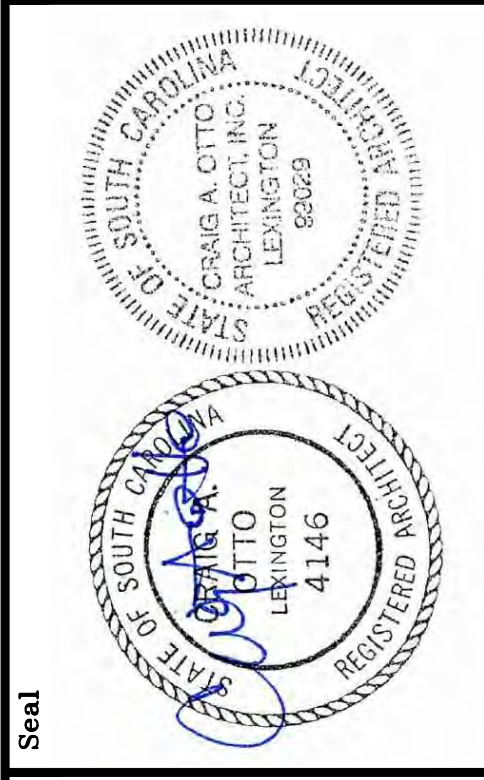
FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13

NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
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RENOVATED FIRST FLOOR DIMENSIONED PLAN
 SCALE: 1/4" = 1' - 0"

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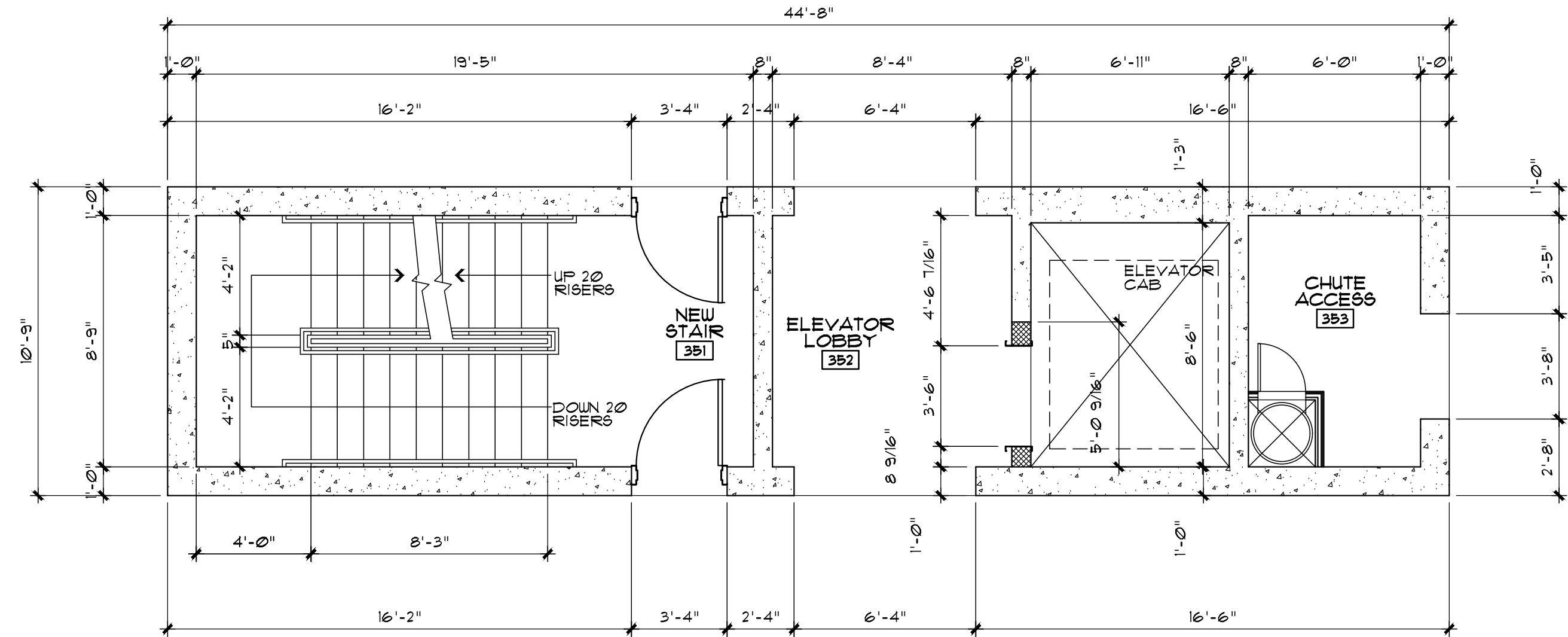
Moxy
 MOXY by MARRIOTT
 RENOVATIONS TO 1200 / 1202 MAIN STREET
 CIRCA 915
 COLUMBIA, SOUTH CAROLINA

Project Title
 Drawing Title: **RENOVATED FIRST FLOOR DIMENSIONED PLAN**
 Consultant
 Drawn By: **OTTO**
 Date: **AUGUST 31, 2022**

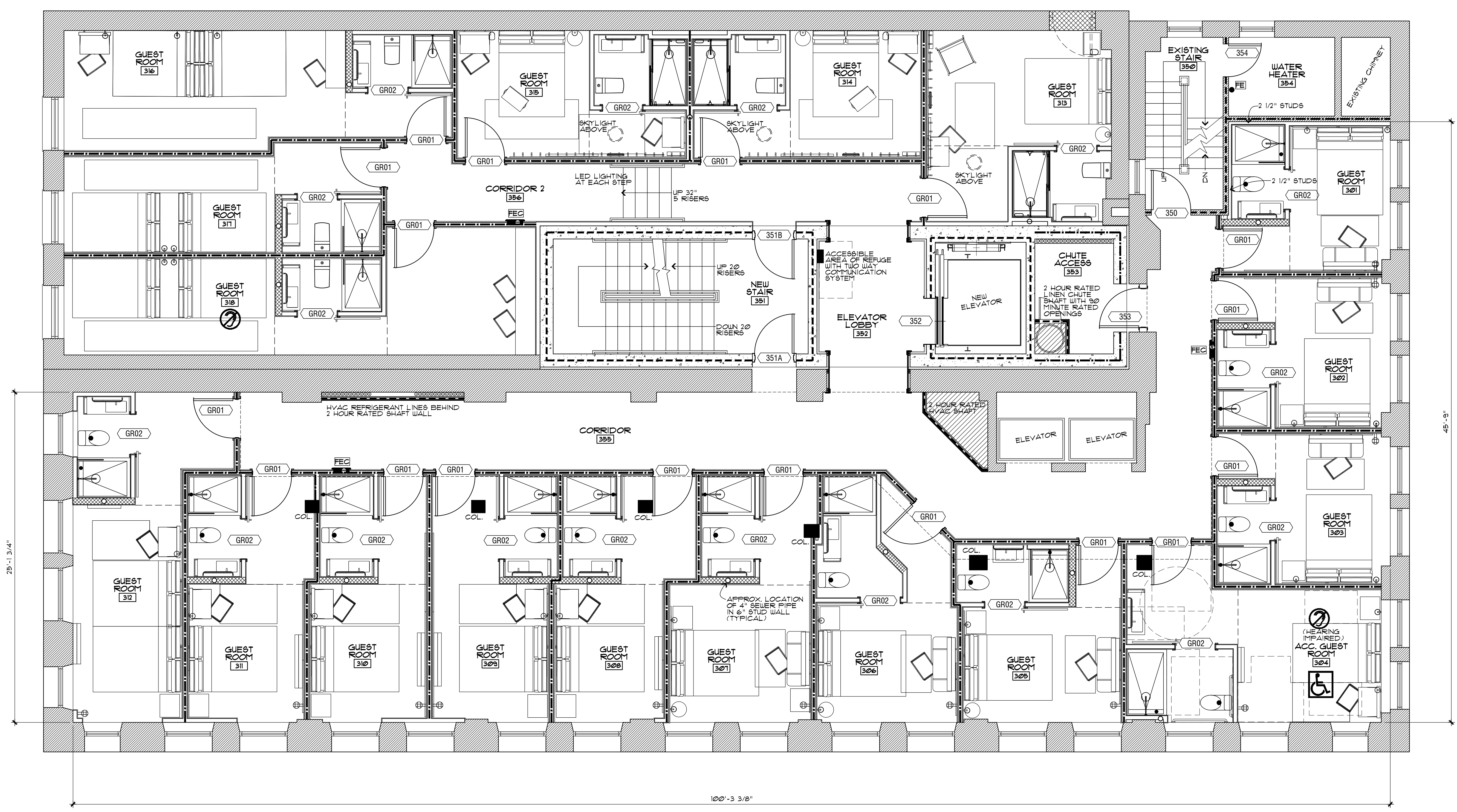
Drawing No.
A1.1D

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13

NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
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2 STAIR / ELEVATOR SHAFT DETAILED PLAN
 SCALE: 1/4" = 1' - 0"



1 RENOVATED THIRD FLOOR PLAN
 SCALE: 1/4" = 1' - 0"

5,852 +/- SQUARE FEET

NOTE: ALL STUDS ARE METAL AND SPACED AT 16" O.C. TYPICAL STUDS ARE 3 5/8" UNLESS NOTED OTHERWISE. EACH BATHROOM (EXCEPT ROOM 324) HAS ONE 6" STUD WALL LOCATION FOR SEWER PIPING. BATHROOM 321 HAS 2 1/2" STUDS WHERE INDICATED.

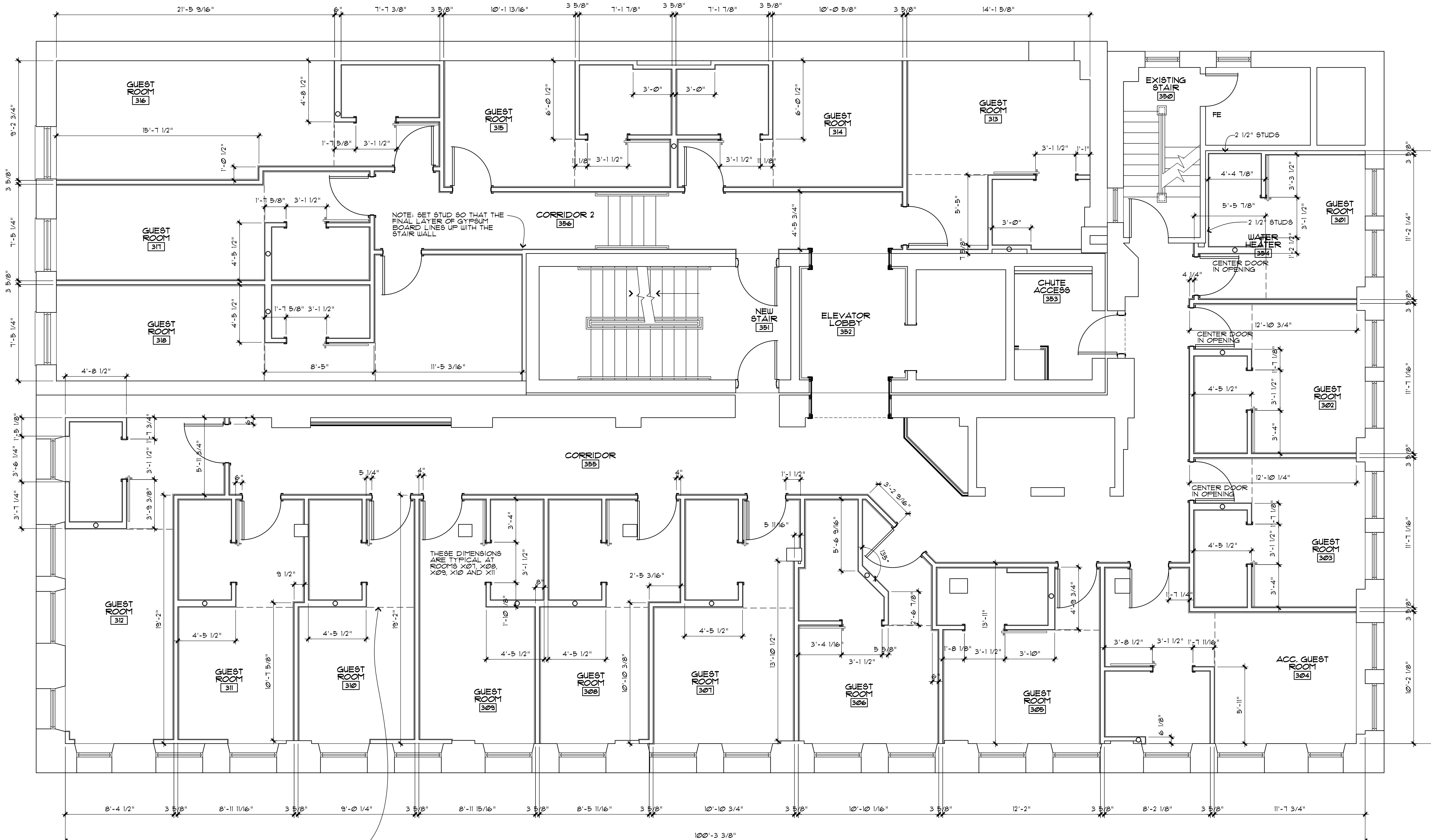
| SYMBOL LEGEND | |
|---------------|--|
| | 1 HOUR RATED WALL |
| | 2 HOUR RATED WALL |
| | 2 HOUR RATED SHAFT |
| | LOCATION OF 6" METAL STUDS AT 16" O.C. |
| | FIRE EXTINGUISHER WITH CABINET |
| | FIRE EXTINGUISHER WITH BRACKET |

NOTE: FIRE EXTINGUISHERS SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEW AND MUST BE INSTALLED IN CONSPICUOUS LOCATIONS. CABINETS SHALL BE PROVIDED WITH A MEANS OF READY ACCESS AND SHALL NOT BE LOCKED

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13

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| Project Title | MOXY by MARRIOTT RENOVATIONS TO 1200 / 1202 MAIN STREET CIRCA 905 COLUMBIA, SOUTH CAROLINA |
| | Craig A. Otto ARCHITECT, INC. DESIGN • PLANNING • ARCHITECTURE |
| Drawing Title | RENOVATED THIRD FLOOR PLAN |
| | Consultant |
| Drawn By | OTTO |
| Date | AUGUST 31, 2022 |
| Drawing No. | A1.3 |

NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
 The General Contractor and all Subcontractors and Material Suppliers shall review and be familiar with all drawings associated with this project including the architectural, civil, structural, plumbing, mechanical, and electrical drawings. Specific requirements depicted on one drawing page or in one portion of the drawings shall be applicable to all drawing pages and all portions of the drawings. Should a conflict or discrepancy be discovered in the drawings during the bidding or negotiation phase, the General Contractor, Subcontractor or Material Supplier shall immediately notify the Architect and request additional information and clarification. Failure to do so will not relieve the General Contractor, Subcontractor or Material Supplier from the requirements of all portions of the drawings.



NOTE: IN ALL GUEST ROOMS FRAME THE CEILING OF THE BATHROOM AND ENTRY FLOOR DOWN TO 8'-0 1/2" ABOVE THE FINISHED FLOOR (TYPICAL AT ALL GUEST ROOMS AT ALL FLOORS AS INDICATED BY THE DASHED LINE)

1 RENOVATED THIRD FLOOR DIMENSIONED PLAN
 SCALE: 1/4" = 1' - 0"

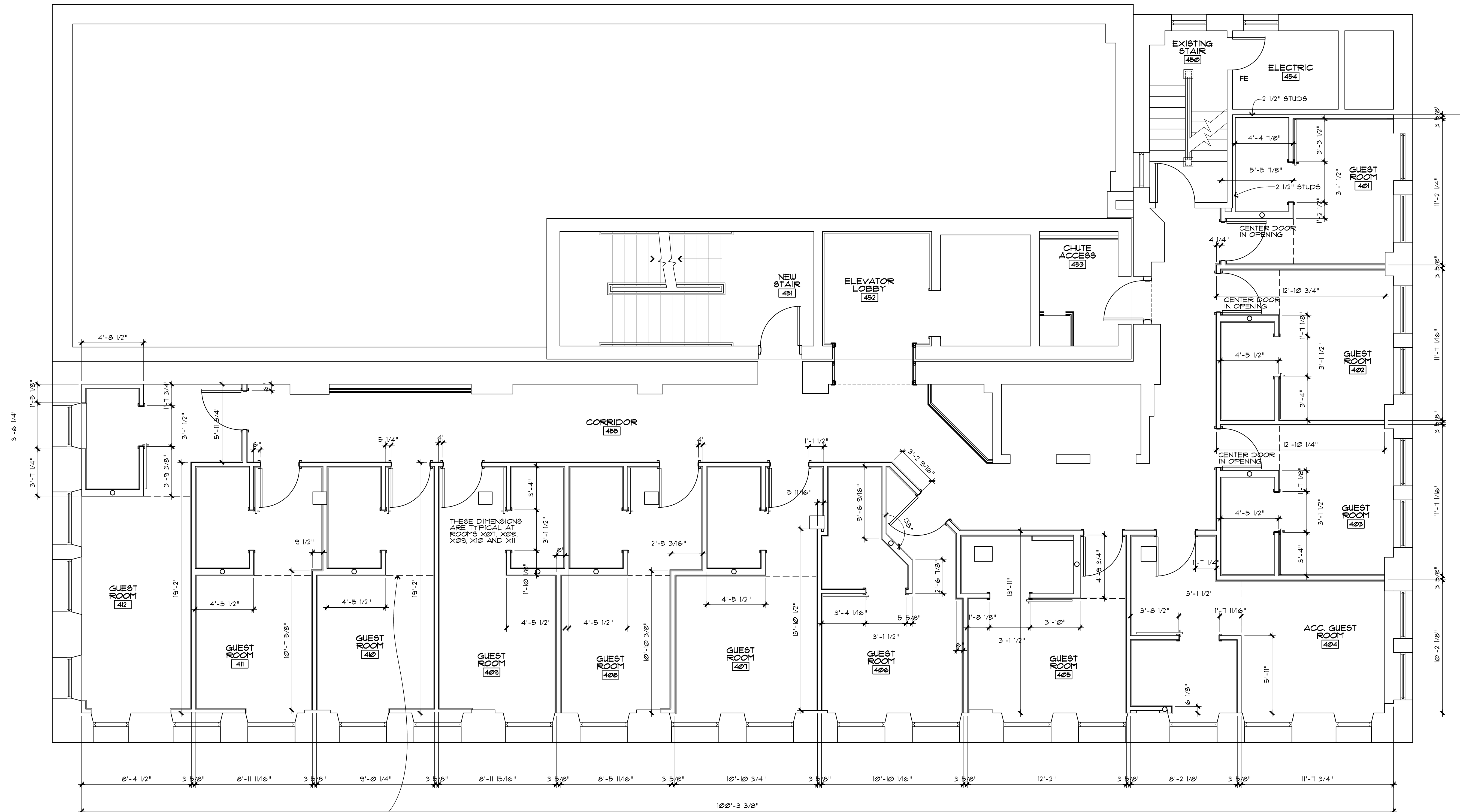
NOTE 1: ALL STUDS ARE METAL AND SPACED AT 16" O.C. TYPICAL. STUDS ARE 3 5/8" UNLESS NOTED OTHERWISE. EACH BATHROOM (EXCEPT ROOM 304) HAS ONE 8" STUD WALL LOCATION FOR BEISER FRIMS. BATHROOM 301 HAS 2 1/2" STUDS WHERE INDICATED.

NOTE 2: THE ASSUMPTION HAS BEEN MADE THAT THE PREFABRICATED SHOWER UNIT REQUIRES AN INSIDE FINISHED DIMENSION OF 4'-0" FROM GYPSUM BOARD TO GYPSUM BOARD. THE CONTRACTOR SHALL VERIFY THE ACTUAL WIDTH OF THE SHOWER UNIT PRIOR TO THE FABRICATION AND INSTALLATION OF THE STUD WALLS.

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13

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| Craig A. Otto ARCHITECT, INC. DESIGN • PLANNING • ARCHITECTURE 5044 Augusta Rd. Lexington, South Carolina 29072 Phone (803) 857-0004 craig@ottoarchitect.com | |
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| MOXY by MARRIOTT RENOVATIONS TO 1200 / 1202 MAIN STREET CIRCUS 905 COLUMBIA, SOUTH CAROLINA | |
| Project Title | RENOVATED THIRD FLOOR DIMENSIONED PLAN |
| Drawing Title | RENOVATED THIRD FLOOR DIMENSIONED PLAN |
| Consultant | |
| Drawn By | OTTO |
| Date | AUGUST 31, 2022 |
| Drawing No. | A1.3D |

NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
 The General Contractor and all Subcontractors and Material Suppliers shall review and be familiar with all drawings associated with this project including the architectural, civil, structural, plumbing, mechanical, and electrical drawings. Specific requirements depicted on one drawing page or in one portion of the drawings shall be applicable to all drawing pages and all portions of the drawings. Should a conflict or discrepancy be discovered in the drawings during the bidding or negotiation phase, the General Contractor, Subcontractor or Material Supplier shall immediately notify the Architect and request additional information and clarification. Failure to do so will not relieve the General Contractor, Subcontractor or Material Supplier from the requirements of all portions of the drawings.



NOTE: IN ALL GUEST ROOMS FRAME THE CEILING OF THE BATHROOM AND ENTRY FLOOR DOWN TO 8'-0 1/2" ABOVE THE FINISHED FLOOR (TYPICAL AT ALL GUEST ROOMS AT ALL FLOORS AS INDICATED BY THE DASHED LINE)

1 RENOVATED FOURTH FLOOR DIMENSIONED PLAN
 SCALE: 1/4" = 1' - 0"

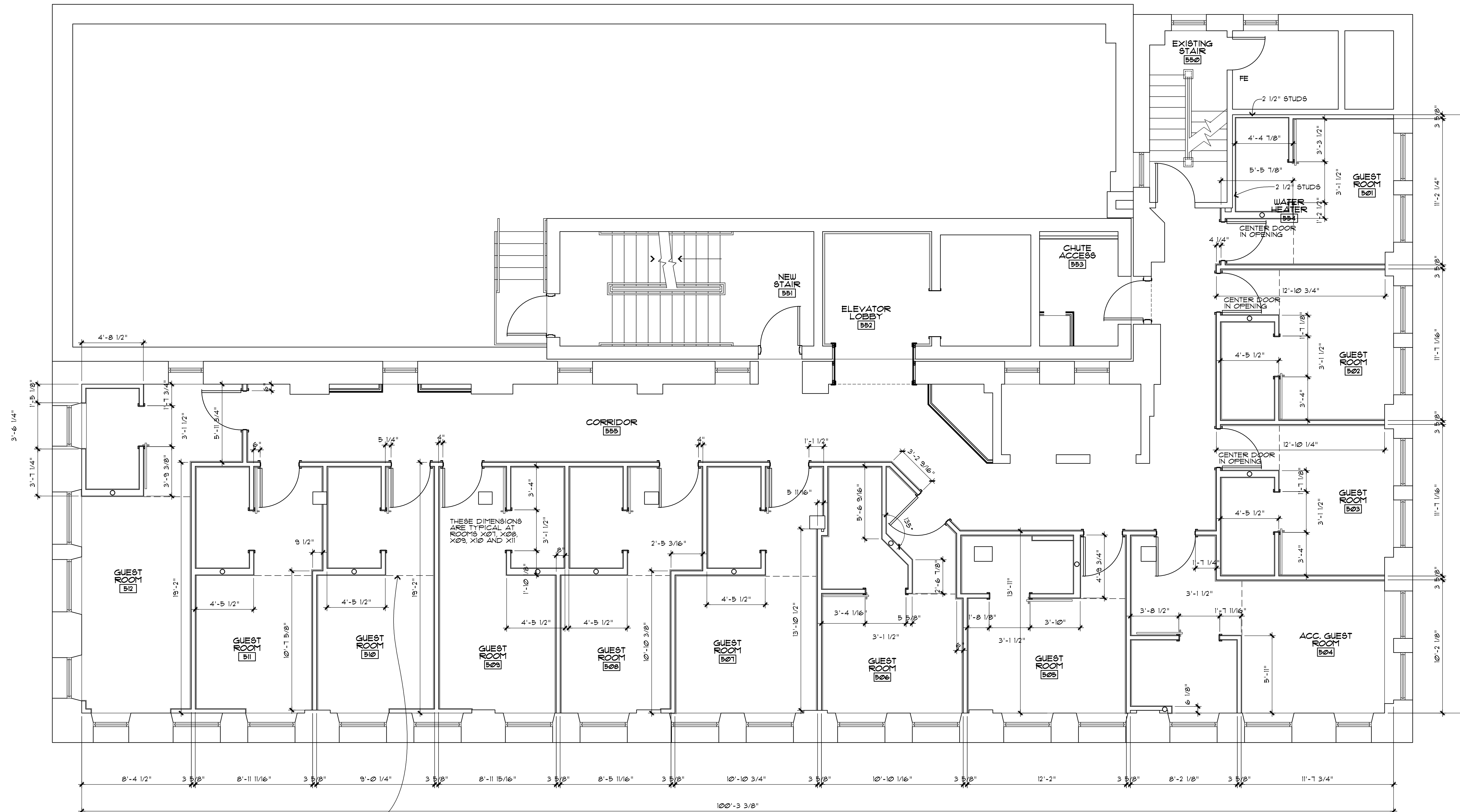
NOTE 1: ALL STUDS ARE METAL AND SPACED AT 16" O.C. TYPICAL. STUDS ARE 3 3/8" UNLESS NOTED OTHERWISE. EACH BATHROOM (EXCEPT ROOM 504) HAS ONE 6" STUD WALL LOCATION FOR BEBER FRIMS. BATHROOM 501 HAS 2 1/2" STUDS WHERE INDICATED.

NOTE 2: THE ASSUMPTION HAS BEEN MADE THAT THE PREFABRICATED SHOWER UNIT REQUIRES AN INSIDE FINISHED DIMENSION OF 4'-0" FROM GYPSUM BOARD TO GYPSUM BOARD. THE CONTRACTOR SHALL VERIFY THE ACTUAL WIDTH OF THE SHOWER UNIT PRIOR TO THE FABRICATION AND INSTALLATION OF THE STUD WALLS.

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13

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| Craig A. Otto ARCHITECT, INC. DESIGN • PLANNING • ARCHITECTURE 5044 Augusta Rd. Lexington, South Carolina 29072 Phone (803) 857-0004 craig@ottoarchitect.com | |
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| MOXY by MARRIOTT RENOVATIONS TO 1200 / 1202 MAIN STREET CIRCUS 905 COLUMBIA, SOUTH CAROLINA | |
| Project Title | RENOVATED FOURTH FLOOR DIMENSIONED PLAN |
| Drawing Title | RENOVATED FOURTH FLOOR DIMENSIONED PLAN |
| Drawn By | OTTO |
| Date | AUGUST 31, 2022 |
| Drawing No. | A1.4D |

NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
 The General Contractor and all Subcontractors and Material Suppliers shall review and be familiar with all drawings associated with this project including the architectural, civil, structural, plumbing, mechanical, and electrical drawings. Specific requirements depicted on one drawing page or in one portion of the drawings shall be applicable to all drawing pages and all portions of the drawings. Should a conflict or discrepancy be discovered in the drawings during the bidding or negotiation phase, the General Contractor, Subcontractor or Material Supplier shall immediately notify the Architect and request additional information and clarification. Failure to do so will not relieve the General Contractor, Subcontractor or Material Supplier from the requirements of all portions of the drawings.



NOTE: IN ALL GUEST ROOMS FRAME THE CEILING OF THE BATHROOM AND ENTRY FOYER DOWN TO 8'-0 1/2" ABOVE THE FINISHED FLOOR (TYPICAL AT ALL GUEST ROOMS AT ALL FLOORS AS INDICATED BY THE DASHED LINE)

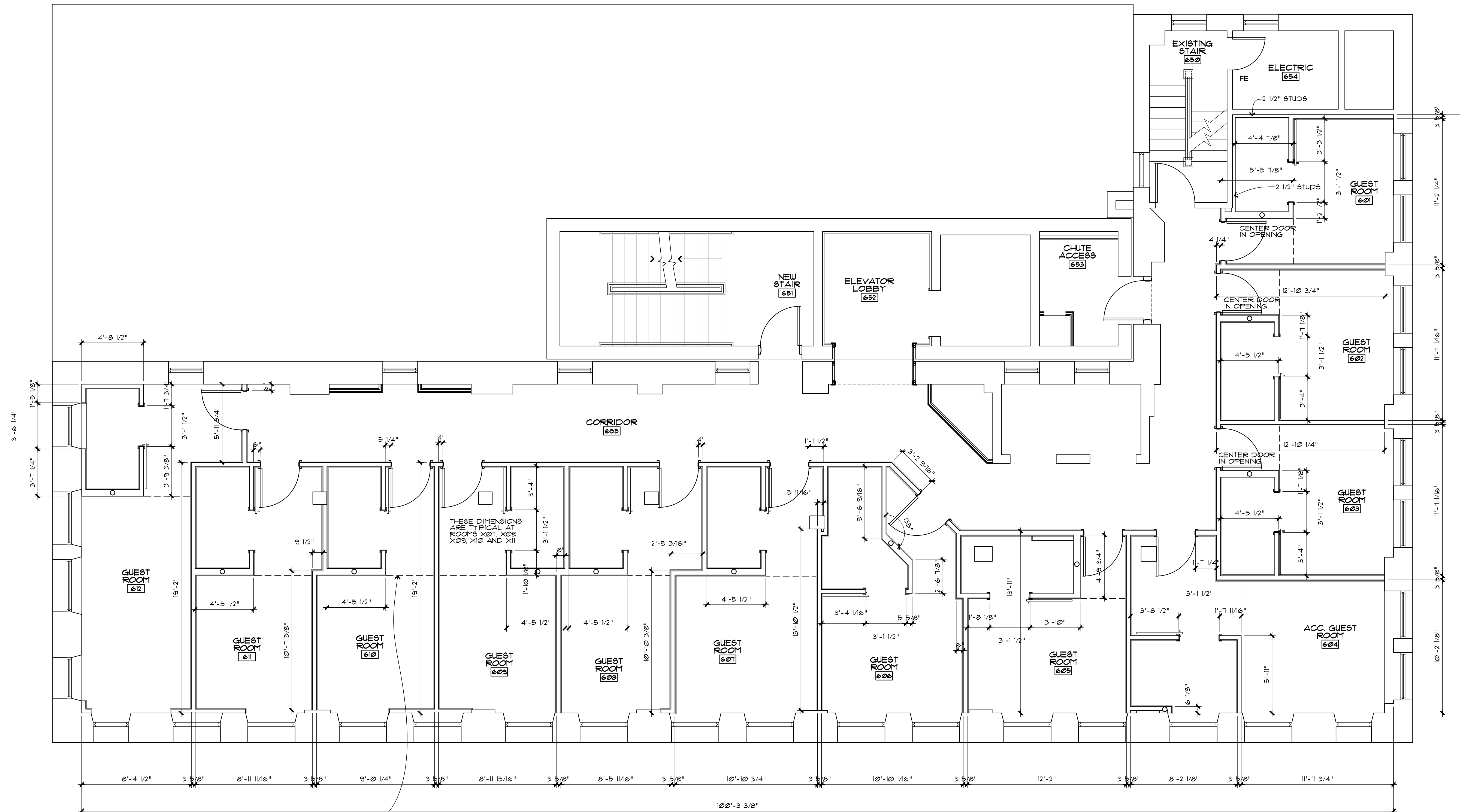
1 RENOVATED FIFTH FLOOR DIMENSIONED PLAN
 SCALE: 1/4" = 1' - 0"

NOTE 1: ALL STUDS ARE METAL AND SPACED AT 16" O.C. TYPICAL STUDS ARE 3 1/2" UNLESS NOTED OTHERWISE. EACH BATHROOM (EXCEPT ROOM 504) HAS ONE 6" STUD WALL LOCATION FOR BEER FRIMS. BATHROOM 501 HAS 2 1/2" STUDS WHERE INDICATED.
 NOTE 2: THE ASSUMPTION HAS BEEN MADE THAT THE PREFABRICATED SHOWER UNIT REQUIRES AN INSIDE FINISHED DIMENSION OF 4'-0" FROM GYPSUM BOARD TO GYPSUM BOARD. THE CONTRACTOR SHALL VERIFY THE ACTUAL WIDTH OF THE SHOWER UNIT PRIOR TO THE FABRICATION AND INSTALLATION OF THE STUD WALLS.

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13

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| Craig A. Otto ARCHITECT, INC. DESIGN • PLANNING • ARCHITECTURE 5044 Augusta Rd., Columbia, South Carolina 29972 Phone (803) 857-9004 craig@ottoarchitect.com | |
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| MOXY by MARRIOTT RENOVATIONS TO 1200 / 1202 MAIN STREET CIRCA 915 COLUMBIA, SOUTH CAROLINA | |
| Project Title | RENOVATED FIFTH FLOOR DIMENSIONED PLAN |
| Drawing Title | RENOVATED FIFTH FLOOR DIMENSIONED PLAN |
| Drawn By | OTTO |
| Date | AUGUST 31, 2022 |
| Drawing No. | A1.5D |

NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
 The General Contractor and all Subcontractors and Material Suppliers shall review and be familiar with all drawings associated with this project including the architectural, civil, structural, plumbing, mechanical, and electrical drawings. Specific requirements depicted on one drawing page or in one portion of the drawings shall be applicable to all drawing pages and all portions of the drawings. Should a conflict or discrepancy be discovered in the drawings during the bidding or negotiation phase, the General Contractor, Subcontractor or Material Supplier shall immediately notify the Architect and request additional information and clarification. Failure to do so will not relieve the General Contractor, Subcontractor or Material Supplier from the requirements of all portions of the drawings.



NOTE: IN ALL GUEST ROOMS FRAME THE CEILING OF THE BATHROOM AND ENTRY FLOOR DOWN TO 8'-0 1/2" ABOVE THE FINISHED FLOOR (TYPICAL AT ALL GUEST ROOMS AT ALL FLOORS AS INDICATED BY THE DASHED LINE)

1 RENOVATED SIXTH FLOOR DIMENSIONED PLAN
 SCALE: 1/4" = 1' - 0"

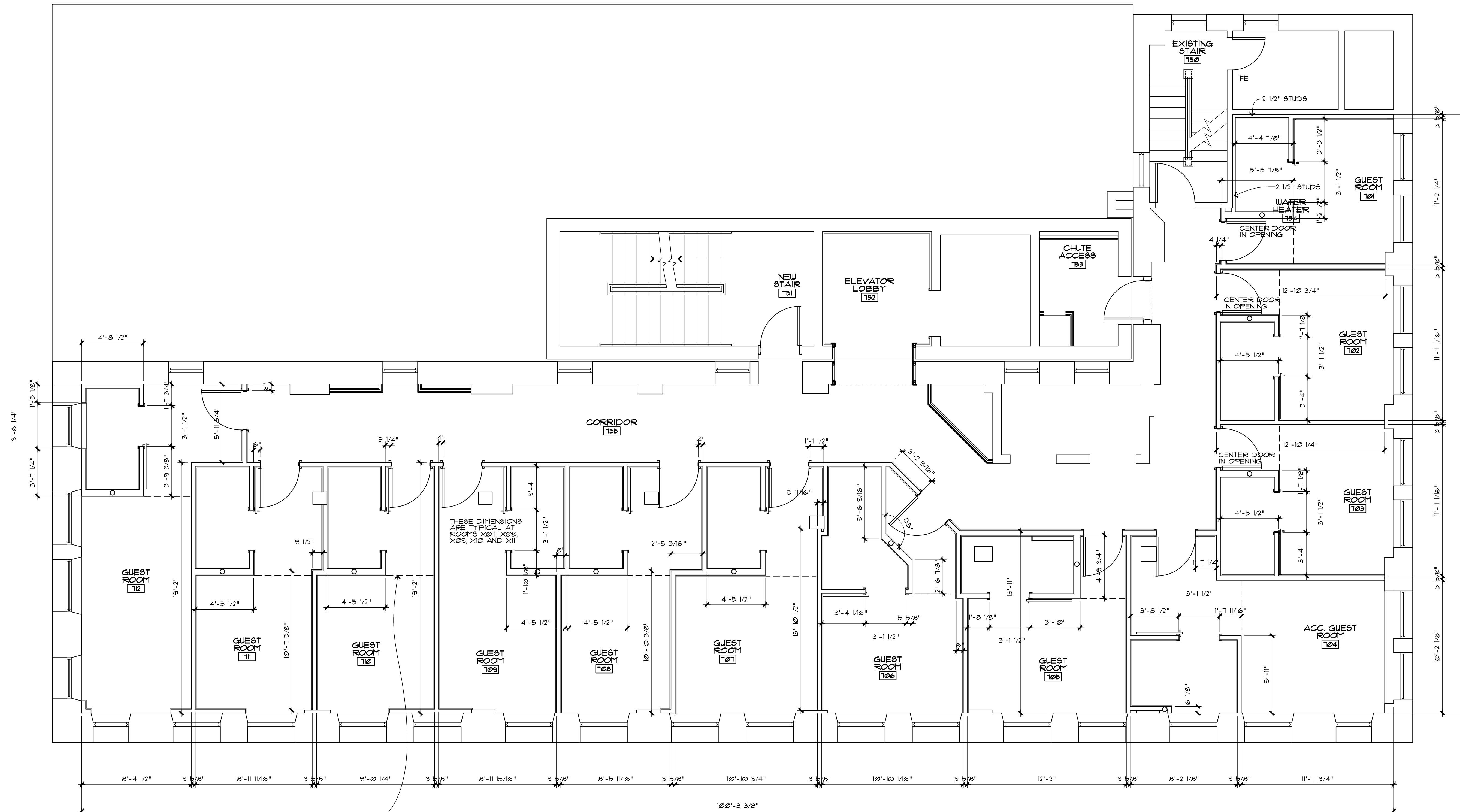
NOTE 1: ALL STUDS ARE METAL AND SPACED AT 16" O.C. TYPICAL STUDS ARE 3 1/2" UNLESS NOTED OTHERWISE. EACH BATHROOM (EXCEPT ROOM 604) HAS ONE 6" STUD WALL LOCATION FOR BEER FRIMS. BATHROOM 601 HAS 2 1/2" STUDS WHERE INDICATED.

NOTE 2: THE ASSUMPTION HAS BEEN MADE THAT THE PREFABRICATED SHOWER UNIT REQUIRES AN INSIDE FINISHED DIMENSION OF 4'-0" FROM GYPSUM BOARD TO GYPSUM BOARD. THE CONTRACTOR SHALL VERIFY THE ACTUAL WIDTH OF THE SHOWER UNIT PRIOR TO THE FABRICATION AND INSTALLATION OF THE STUD WALLS.

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13

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| Craig A. Otto ARCHITECT, INC. DESIGN • PLANNING • ARCHITECTURE 5044 Augusta Rd., Lexington, South Carolina 29072 Phone (803) 857-9004 craig@ottoarchitect.com | |
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| MOXY by MARRIOTT RENOVATIONS TO 1200 / 1202 MAIN STREET CIRCA 905 COLUMBIA, SOUTH CAROLINA | |
| Project Title | RENOVATED SIXTH FLOOR DIMENSIONED PLAN |
| Drawing Title | RENOVATED SIXTH FLOOR DIMENSIONED PLAN |
| Consultant | |
| Drawn By | OTTO |
| Date | AUGUST 31, 2022 |
| Drawing No. | A1.6D |

NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
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NOTE: IN ALL GUEST ROOMS FRAME THE CEILING OF THE BATHROOM AND ENTRY FLOOR DOWN TO 8'-0 1/2" ABOVE THE FINISHED FLOOR (TYPICAL AT ALL GUEST ROOMS AT ALL FLOORS AS INDICATED BY THE DASHED LINE)

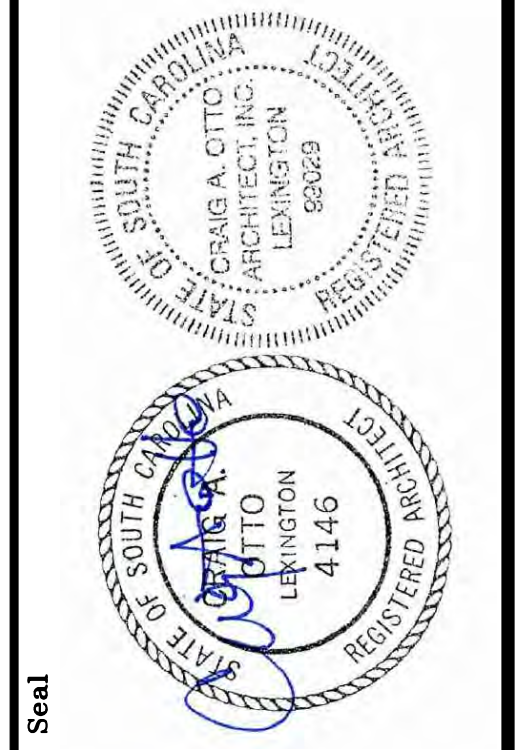
1 RENOVATED SEVENTH FLOOR DIMENSIONED PLAN
 SCALE: 1/4" = 1' - 0"

NOTE 1: ALL STUDS ARE METAL AND SPACED AT 16" O.C. TYPICAL STUDS ARE 3 1/2" UNLESS NOTED OTHERWISE. EACH BATHROOM (EXCEPT ROOM 1204) HAS ONE 6" STUD WALL LOCATION FOR BEER FRIMS. BATHROOM 1201 HAS 2 1/2" STUDS WHERE INDICATED.

NOTE 2: THE ASSUMPTION HAS BEEN MADE THAT THE PREFABRICATED SHOWER UNIT REQUIRES AN INSIDE FINISHED DIMENSION OF 4'-0" FROM GYPSUM BOARD TO GYPSUM BOARD. THE CONTRACTOR SHALL VERIFY THE ACTUAL WIDTH OF THE SHOWER UNIT PRIOR TO THE FABRICATION AND INSTALLATION OF THE STUD WALLS.

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13

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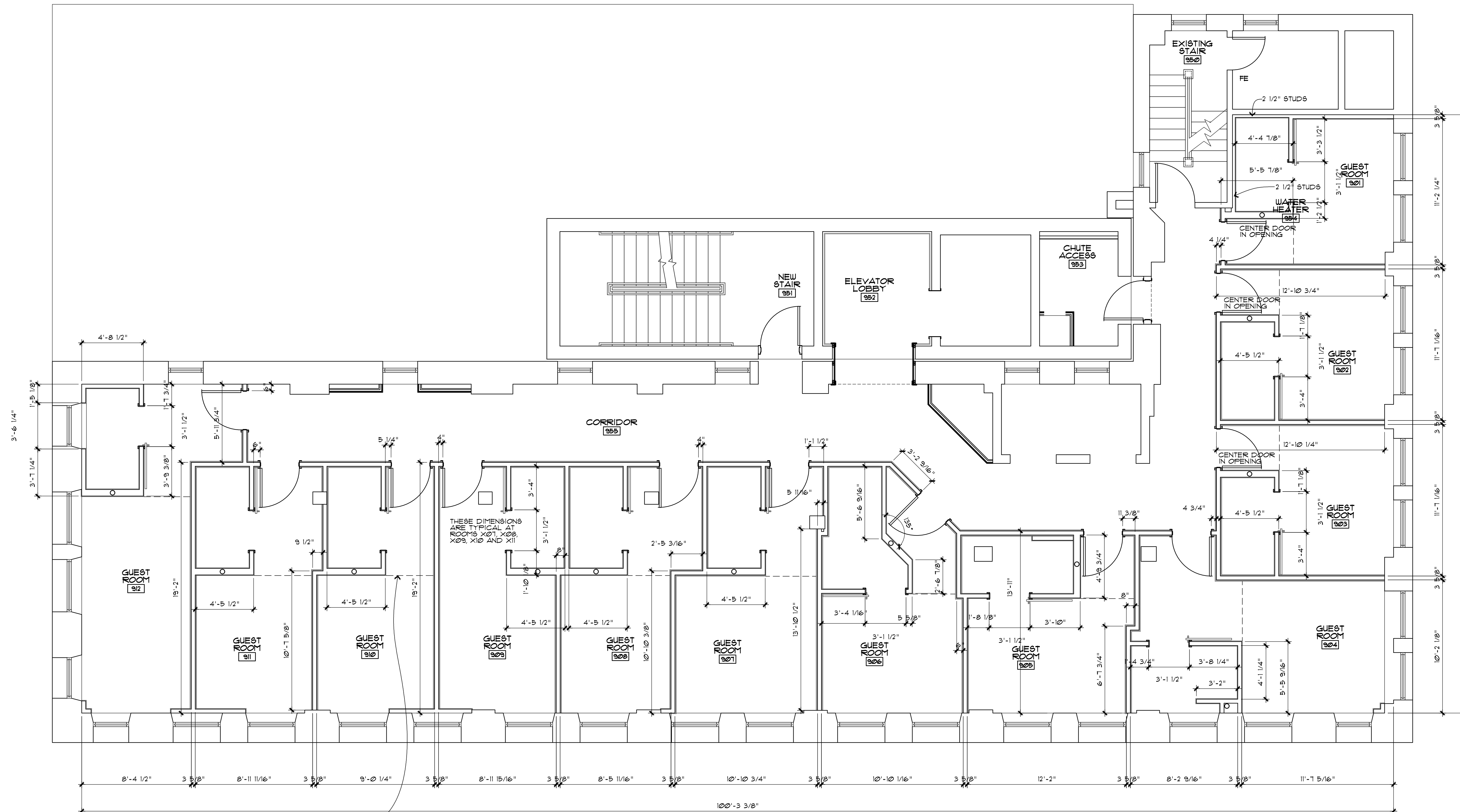
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 5044 Augusta Rd.
 Lexington, South Carolina 29072
 Phone (803) 857-0004
 craig@ottoarchitect.com

MOXY by MARRIOTT
 RENOVATIONS TO 1200 / 1202 MAIN STREET
 CIRCUS 905
 COLUMBIA, SOUTH CAROLINA

Project Title
 RENOVATED SEVENTH FLOOR
 DIMENSIONED PLAN
Drawing Title
 DIMENSIONED PLAN
Drawn By
 OTTO
Date
 AUGUST 31, 2022
Drawing No.
 A1.7D

Consultant
 All rights reserved. This drawing and the design shown thereon are copyrighted as architectural drawings by Otto Leighton, Registered Professional Engineer. No part of this drawing or the design thereon without permission of the architect will be subject to legal action.

NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
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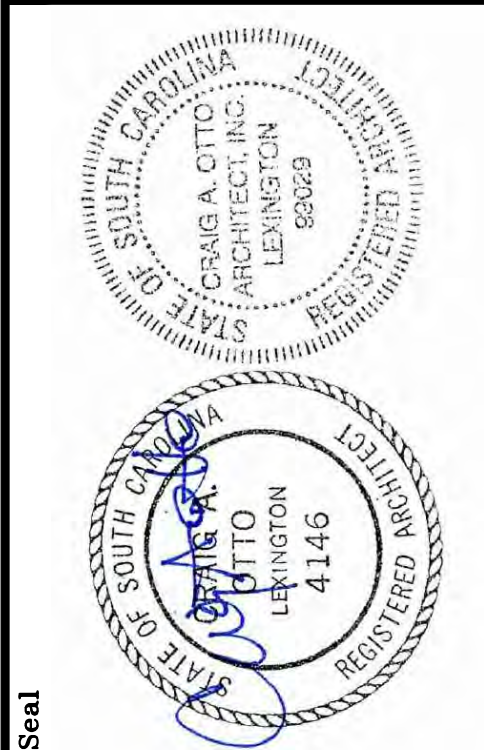
NOTE: IN ALL GUEST ROOMS FRAME THE CEILING OF THE BATHROOM AND ENTRY FLOOR DOWN TO 8'-0 1/2" ABOVE THE FINISHED FLOOR (TYPICAL AT ALL GUEST ROOMS AT ALL FLOORS AS INDICATED BY THE DASHED LINE)

1 RENOVATED NINTH FLOOR DIMENSIONED PLAN
 SCALE: 1/4" = 1' - 0"

NOTE 1: ALL STUDS ARE METAL AND SPACED AT 16" O.C. TYPICAL STUDS ARE 3 1/2" UNLESS NOTED OTHERWISE. EACH BATHROOM (EXCEPT ROOM 104) HAS ONE 6" STUD WALL LOCATION FOR BEBER FRIMS. BATHROOM 101 HAS 2 1/2" STUDS WHERE INDICATED.

NOTE 2: THE ASSUMPTION HAS BEEN MADE THAT THE PREFABRICATED SHOWER UNIT REQUIRES AN INSIDE FINISHED DIMENSION OF 4'-0" FROM GYPSUM BOARD TO GYPSUM BOARD. THE CONTRACTOR SHALL VERIFY THE ACTUAL WIDTH OF THE SHOWER UNIT PRIOR TO THE FABRICATION AND INSTALLATION OF THE STUD WALLS.

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 Phone (803) 857-0004
 craig@ottoarchitect.com

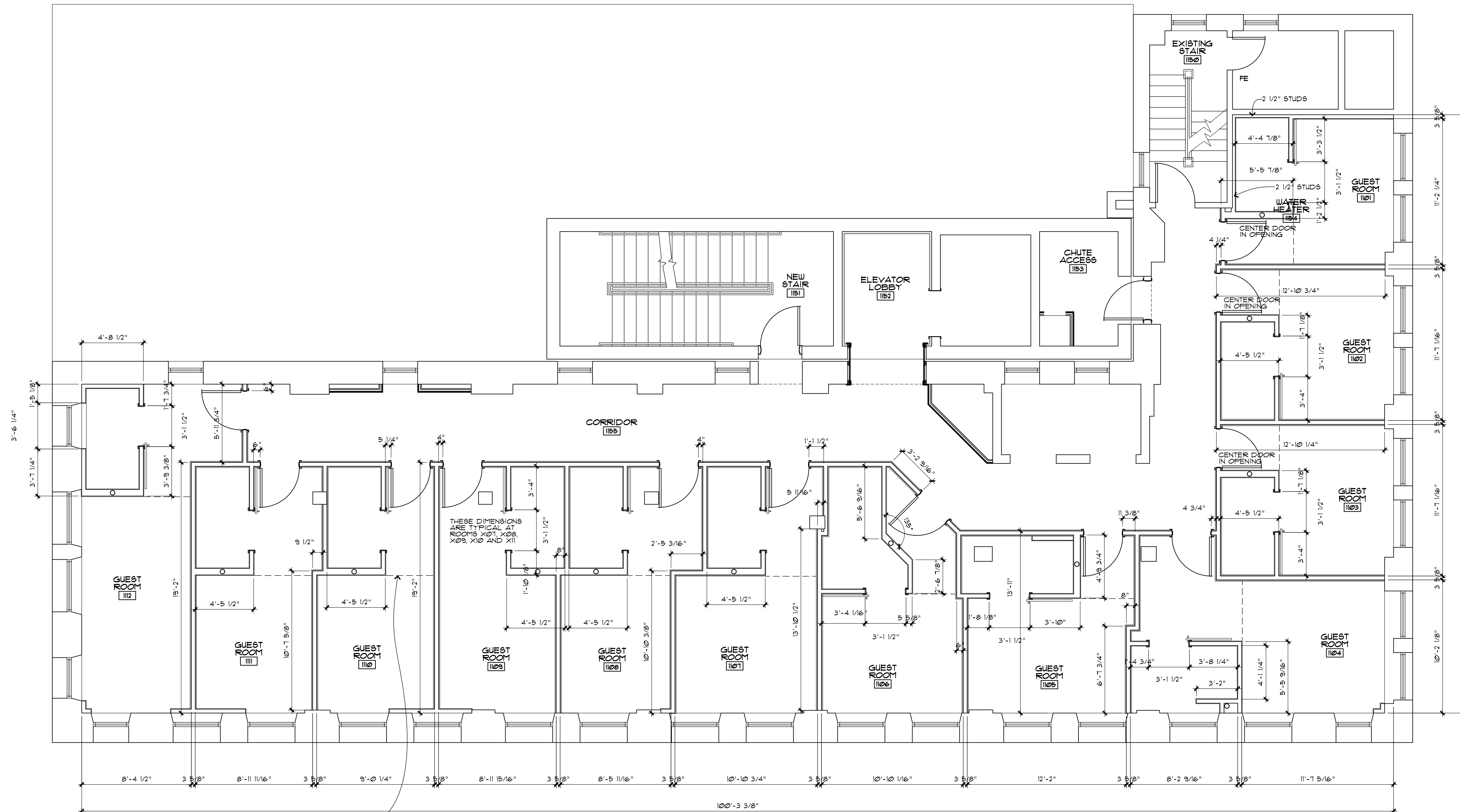
MOXY by MARRIOTT
 RENOVATIONS TO 1200 / 1202 MAIN STREET
 COLUMBIA, SOUTH CAROLINA

Project Title: RENOVATED NINTH FLOOR DIMENSIONED PLAN
 Drawing Title: RENOVATED NINTH FLOOR DIMENSIONED PLAN
 Consultant: Otto Leighton
 Drawn By: OTTO
 Date: AUGUST 31, 2022

Drawing No. **A1.9D**

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13

NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
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NOTE: IN ALL GUEST ROOMS FRAME THE CEILING OF THE BATHROOM AND ENTRY FLOOR DOWN TO 8'-0 1/2" ABOVE THE FINISHED FLOOR (TYPICAL AT ALL GUEST ROOMS AT ALL FLOORS AS INDICATED BY THE DASHED LINE)

11 RENOVATED ELEVENTH FLOOR DIMENSIONED PLAN
 SCALE: 1/4" = 1' - 0"

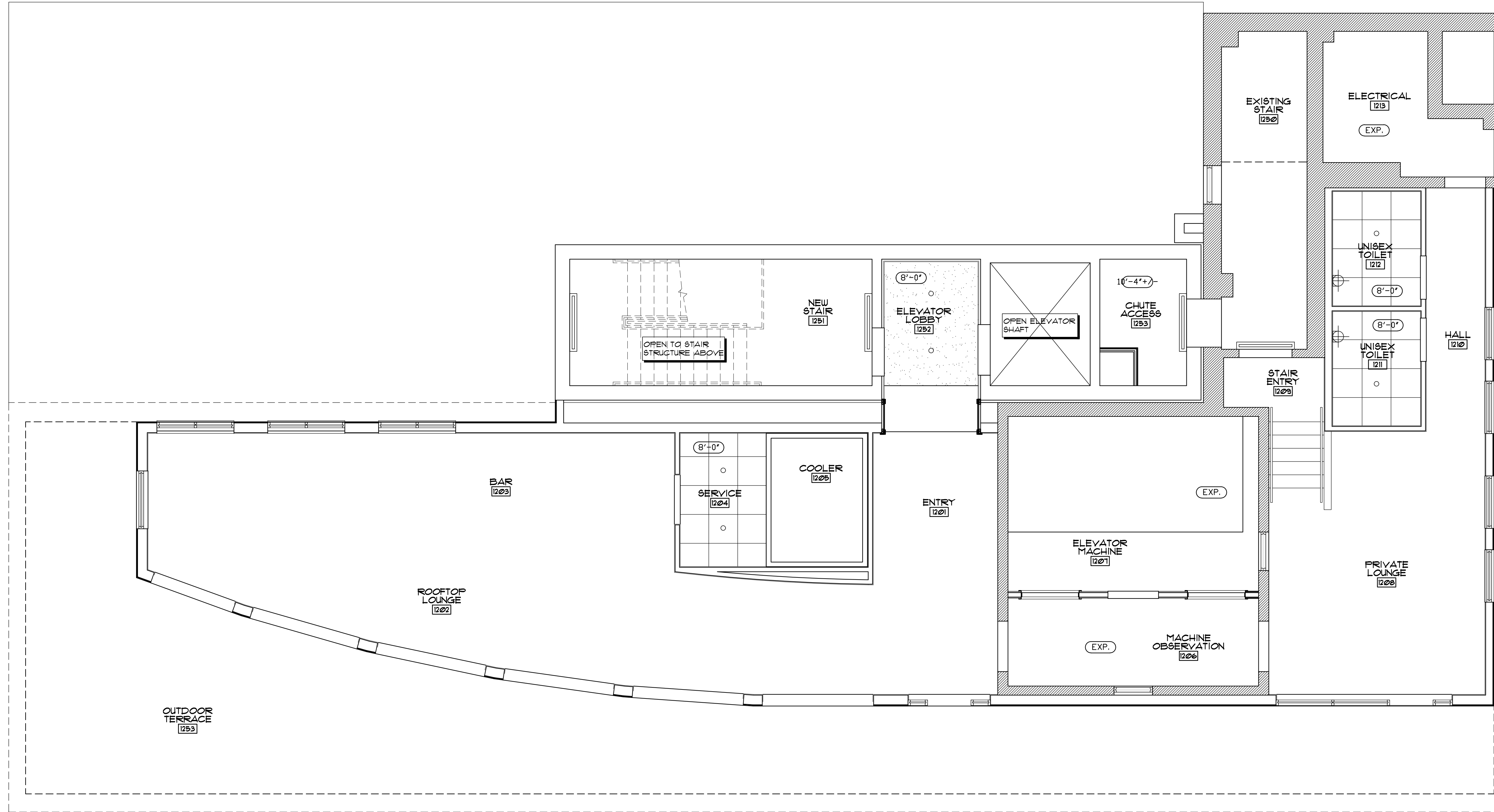
NOTE 1: ALL STUDS ARE METAL AND SPACED AT 16" O.C. TYPICAL STUDS ARE 3 1/2" UNLESS NOTED OTHERWISE. EACH BATHROOM (EXCEPT ROOM 104) HAS ONE 6" STUD WALL LOCATION FOR BEBER FIRING. BATHROOM 101 HAS 2 1/2" STUDS WHERE INDICATED.

NOTE 2: THE ASSUMPTION HAS BEEN MADE THAT THE PREFABRICATED SHOWER UNIT REQUIRES AN INSIDE FINISHED DIMENSION OF 4'-0" FROM GYPSUM BOARD TO GYPSUM BOARD. THE CONTRACTOR SHALL VERIFY THE ACTUAL WIDTH OF THE SHOWER UNIT PRIOR TO THE FABRICATION AND INSTALLATION OF THE STUD WALLS.

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13

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| Revision | |
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| Craig A. Otto ARCHITECT, INC. DESIGN • PLANNING • ARCHITECTURE Phone (803) 857-0004 craig@ottoarchitect.com 5044 Augusta Rd. Lexington, South Carolina 29072 | |
| | |
| MOXY by MARRIOTT RENOVATIONS TO 1200 / 1202 MAIN STREET CIRCULAR 915 COLUMBIA, SOUTH CAROLINA | |
| Project Title | RENOVATED ELEVENTH FLOOR DIMENSIONED PLAN |
| Drawing Title | RENOVATED ELEVENTH FLOOR DIMENSIONED PLAN |
| Consultant | |
| Drawn By | OTTO |
| Date | AUGUST 31, 2022 |
| Drawing No. | A1.11D |

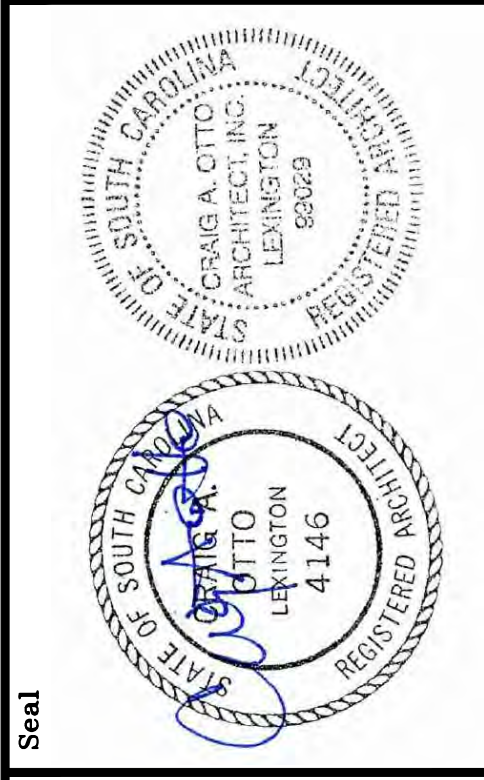
NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
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1 TWELFTH FLOOR REFLECTED CEILING PLAN
 A1.12C SCALE: 1/4" = 1' - 0"

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN
 AN AUTOMATIC FIRE SPRINKLER
 SYSTEM INSTALLED THROUGHOUT
 PER IBC 903.3.1.1 AND NFPA 13

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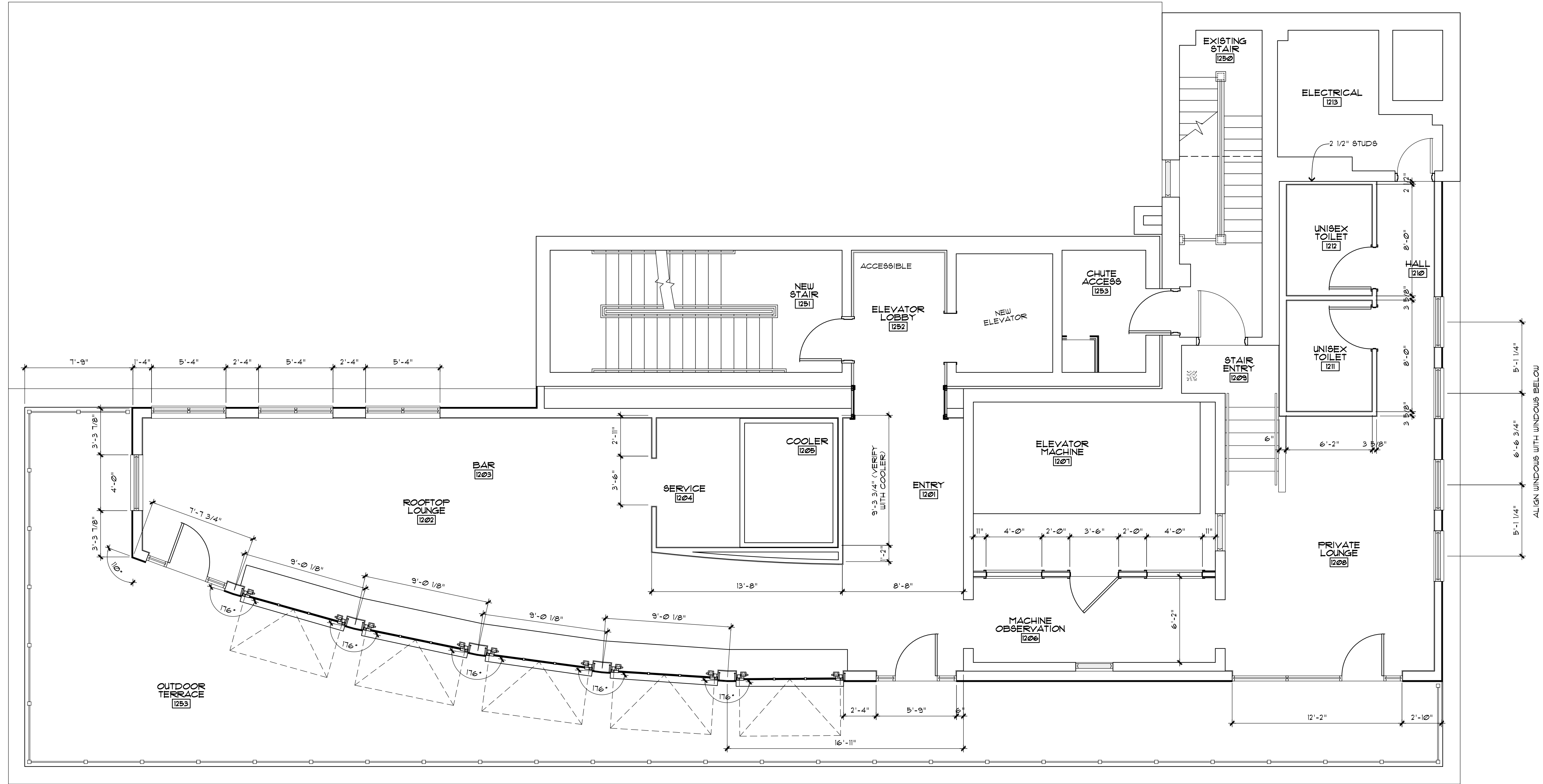
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MOXY
 MOXY by MARRIOTT
 RENOVATIONS TO 1200 / 1202 MAIN STREET
 CIRCA 915
 COLUMBIA, SOUTH CAROLINA

Project Title
 Drawing Title: RENOVATED TWELFTH FLOOR REFLECTED CEILING PLAN
 Consultant
 Drawn By: OTTO
 Date: AUGUST 31, 2022

Drawing No. **A1.12C**

NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
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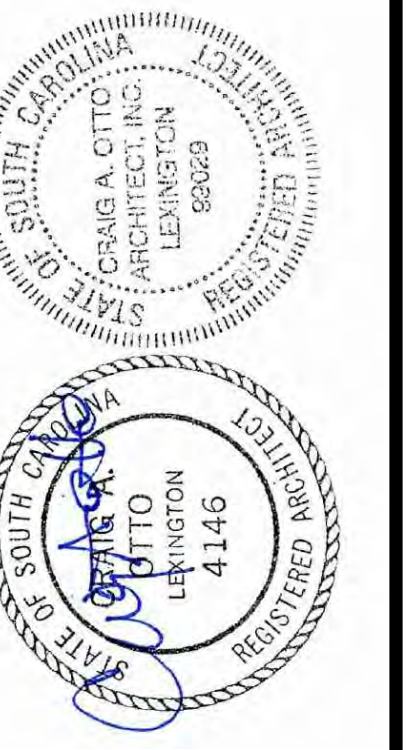


1 RENOVATED TWELFTH FLOOR DIMENSIONED PLAN
 SCALE: 1/4" = 1' - 0"

NOTE: ALL STUDS ARE METAL AND SPACED AT 16" O.C.
 TYPICAL STUDS ARE 3 5/8" UNLESS NOTED OTHERWISE.
 PROVIDE 6" STUDS AS REQUIRED FOR SEWER PIPING.

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN
 AN AUTOMATIC FIRE SPRINKLER
 SYSTEM INSTALLED THROUGHOUT
 PER IBC 903.3.1.1 AND NFPA 13

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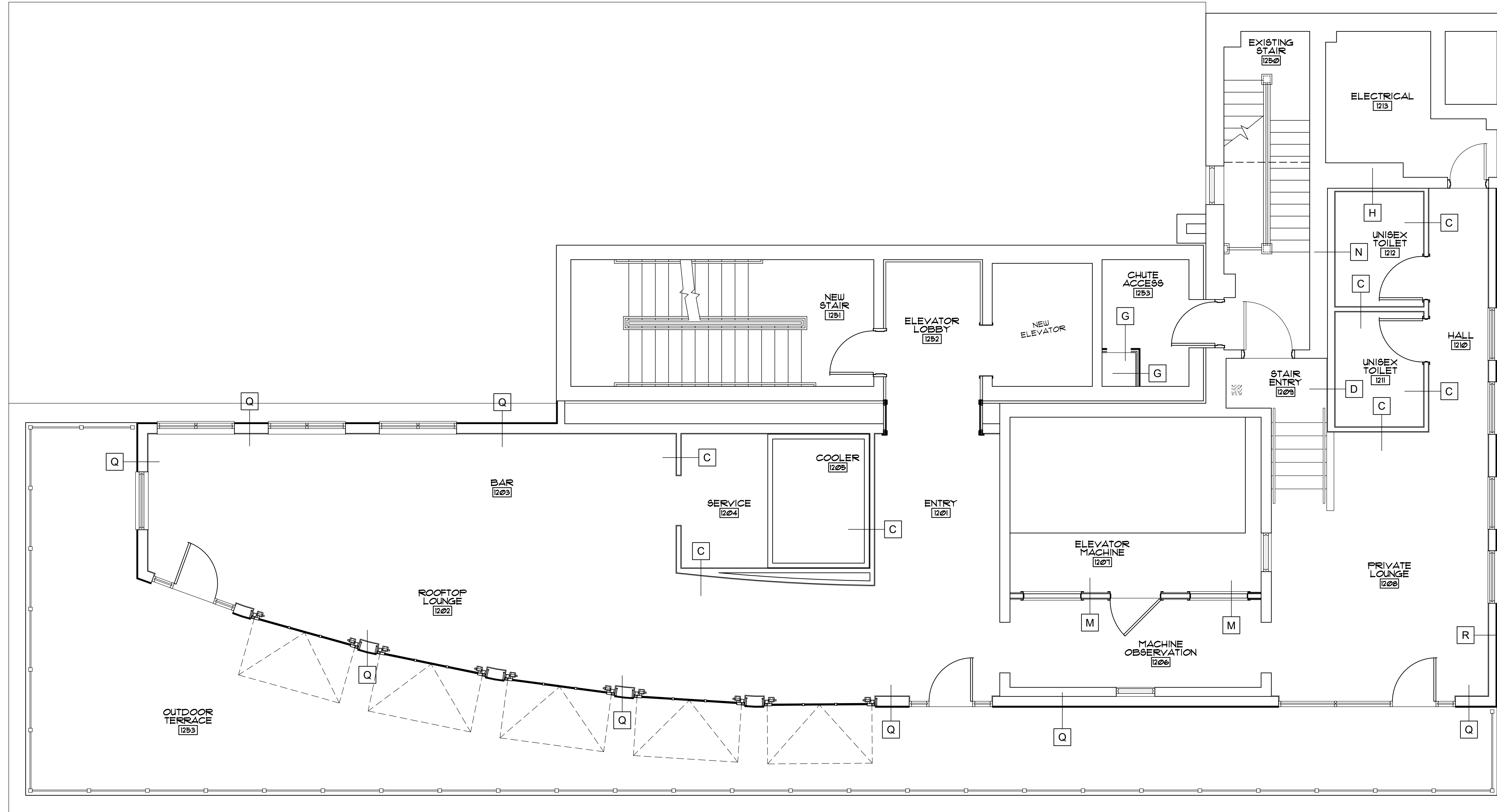
MOXY by MARRIOTT
 RENOVATIONS TO 1200 / 1202 MAIN STREET
 CIRCA 915
 COLUMBIA, SOUTH CAROLINA

Project Title: RENOVATED TWELFTH FLOOR DIMENSIONED PLAN
 Drawing Title: RENOVATED TWELFTH FLOOR DIMENSIONED PLAN
 Consultant: OTTO

Drawn By: OTTO
 Date: AUGUST 31, 2022

Drawing No. **A1.12D**

NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
 The General Contractor and all Subcontractors and Material Suppliers shall review and be familiar with all drawings associated with this project including the architectural, civil, structural, plumbing, mechanical, and electrical drawings. Specific requirements depicted on one drawing page or in one portion of the drawings shall be applicable to all drawing pages and all portions of the drawings. Should a conflict or discrepancy be discovered in the drawings during the bidding or negotiation phase, the General Contractor, Subcontractor or Material Supplier shall immediately notify the Architect and request additional information and clarification. Failure to do so will not relieve the General Contractor, Subcontractor or Material Supplier from the requirements of all portions of the drawings.

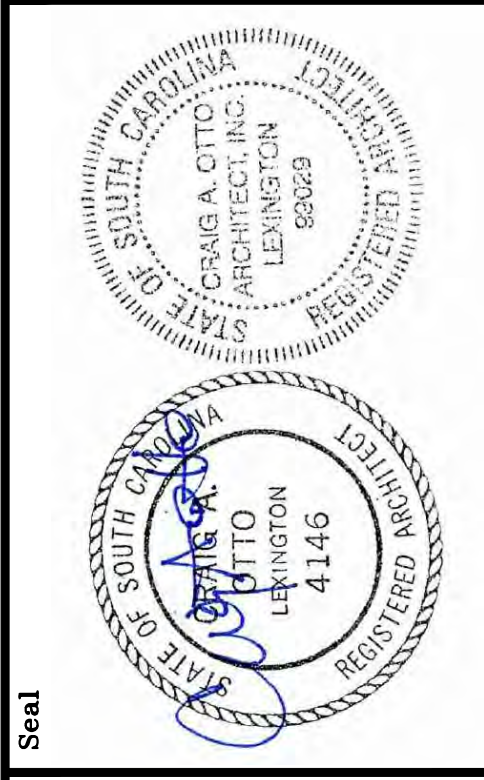


1
A1.12W RENOVATED TWELFTH FLOOR WALL TYPE PLAN
 SCALE: 1/4" = 1' - 0"

NOTE:
 SEE SHEET A01 FOR ALL WALL TYPES

FIRE SPRINKLER NOTE:
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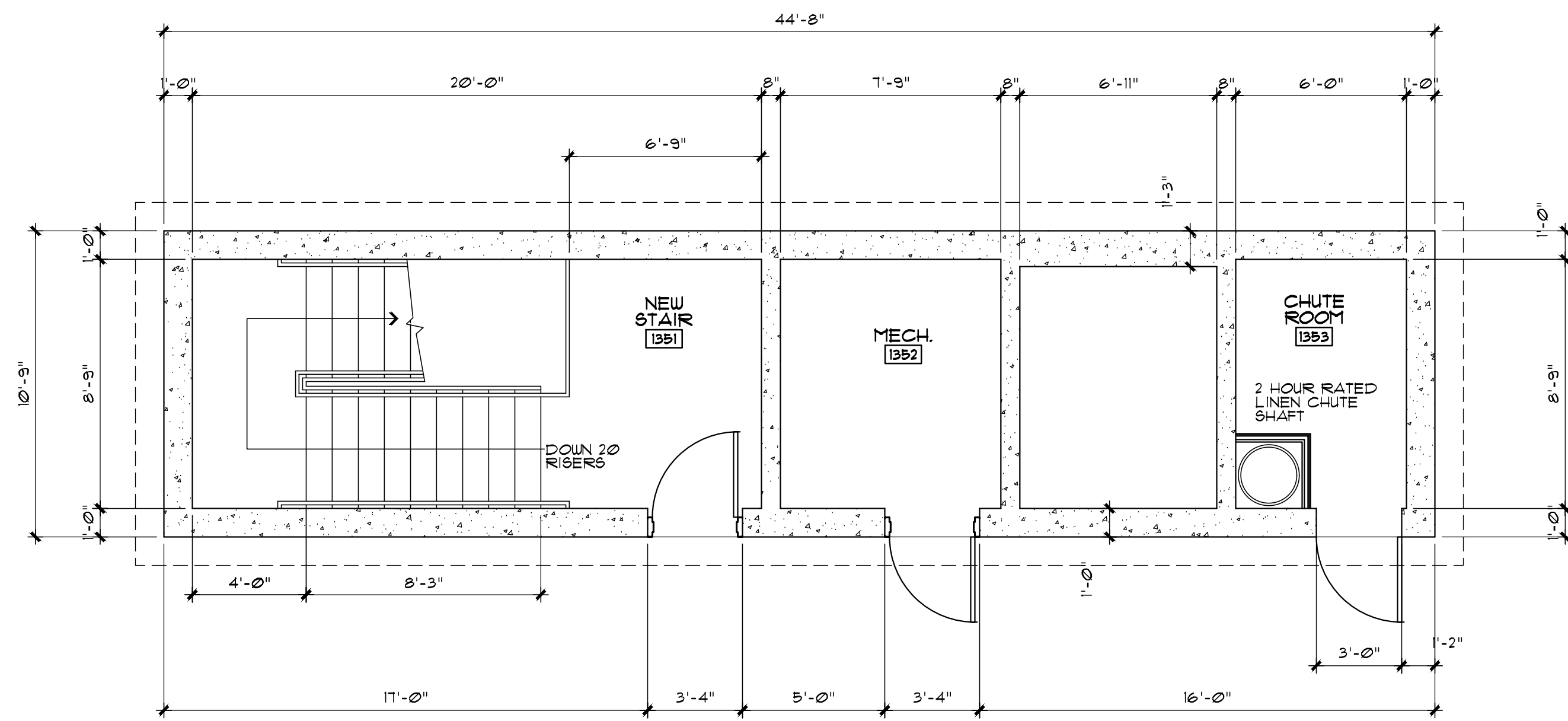


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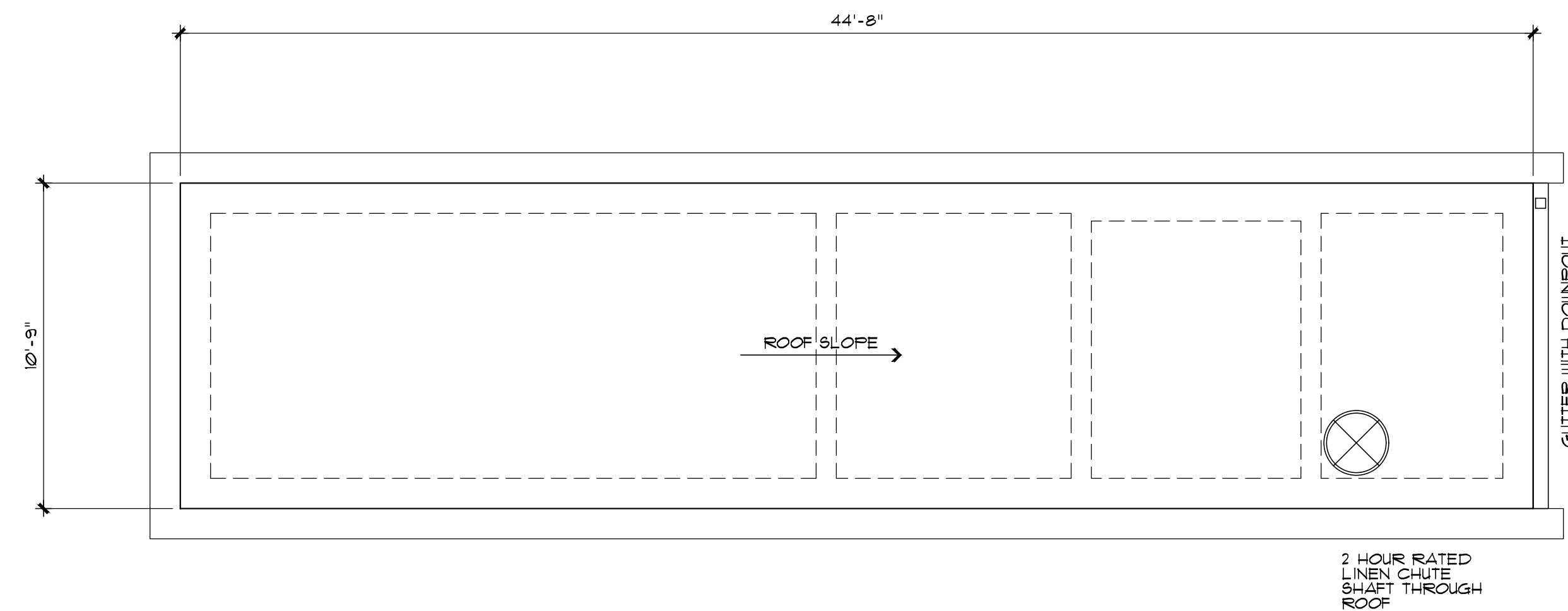
MOXY
 MOXY by MARRIOTT
 RENOVATIONS TO 1200 / 1202 MAIN STREET
 CIRCA 915
 COLUMBIA, SOUTH CAROLINA

Project Title
 Drawing Title: RENOVATED TWELFTH FLOOR WALL TYPE PLAN
 Consultant
 Drawn By: OTTO
 Date: AUGUST 31, 2022

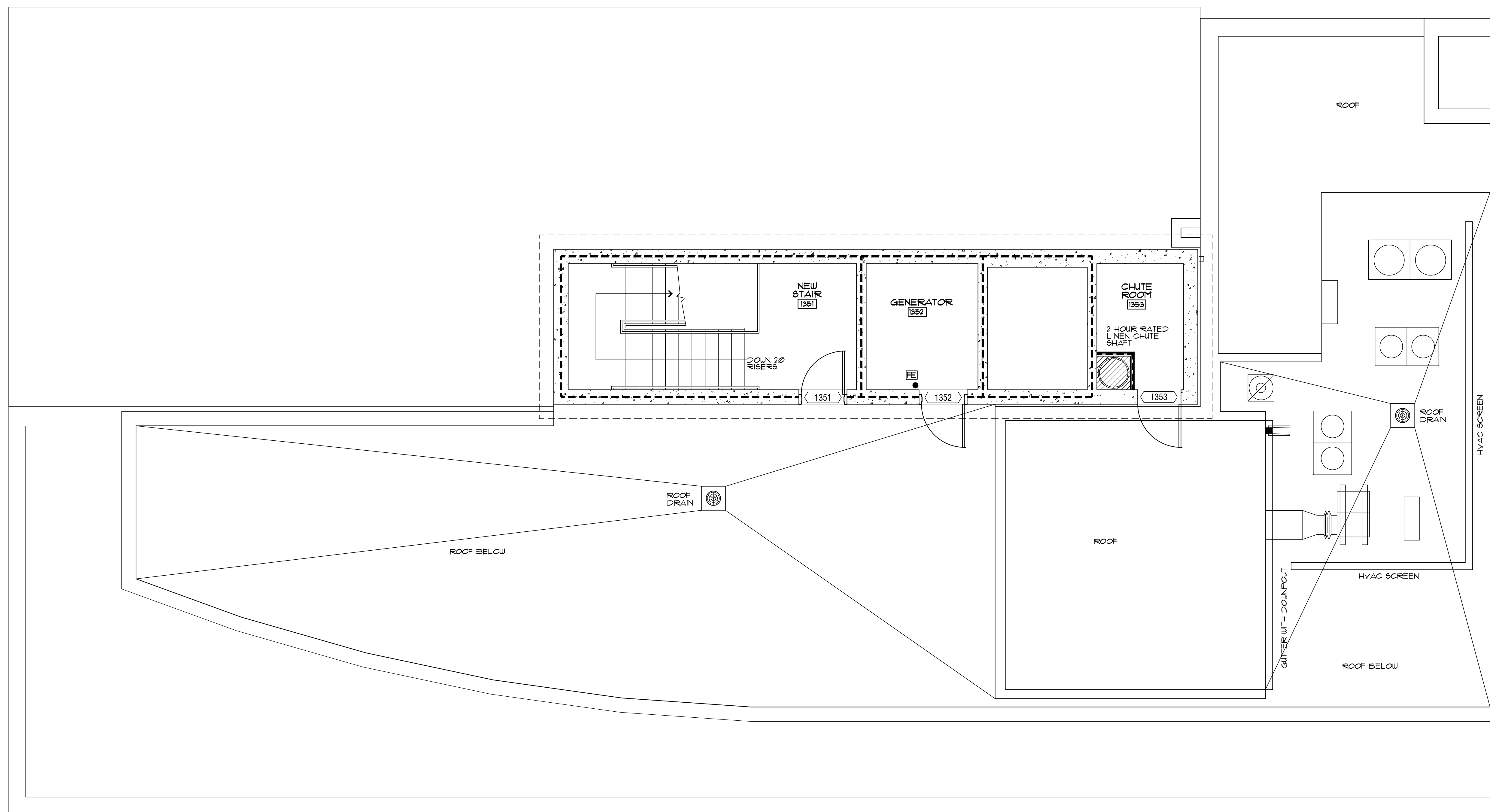
Drawing No.
A1.12W



2 STAIR / ELEVATOR SHAFT DETAILED PLAN
SCALE: 1/4" = 1' - 0"



3 STAIR / ELEVATOR ROOF PLAN
SCALE: 1/4" = 1' - 0"



1 RENOVATED UPPER ROOF PLAN
SCALE: 1/4" = 1' - 0"

| SYMBOL LEGEND | |
|---------------|--|
| | 1 HOUR RATED WALL |
| | 2 HOUR RATED WALL |
| | 2 HOUR RATED SHAFT |
| | LOCATION OF 6" METAL STUDS AT 16" O.C. |
| | FIRE EXTINGUISHER WITH CABINET |
| | FIRE EXTINGUISHER WITH BRACKET |

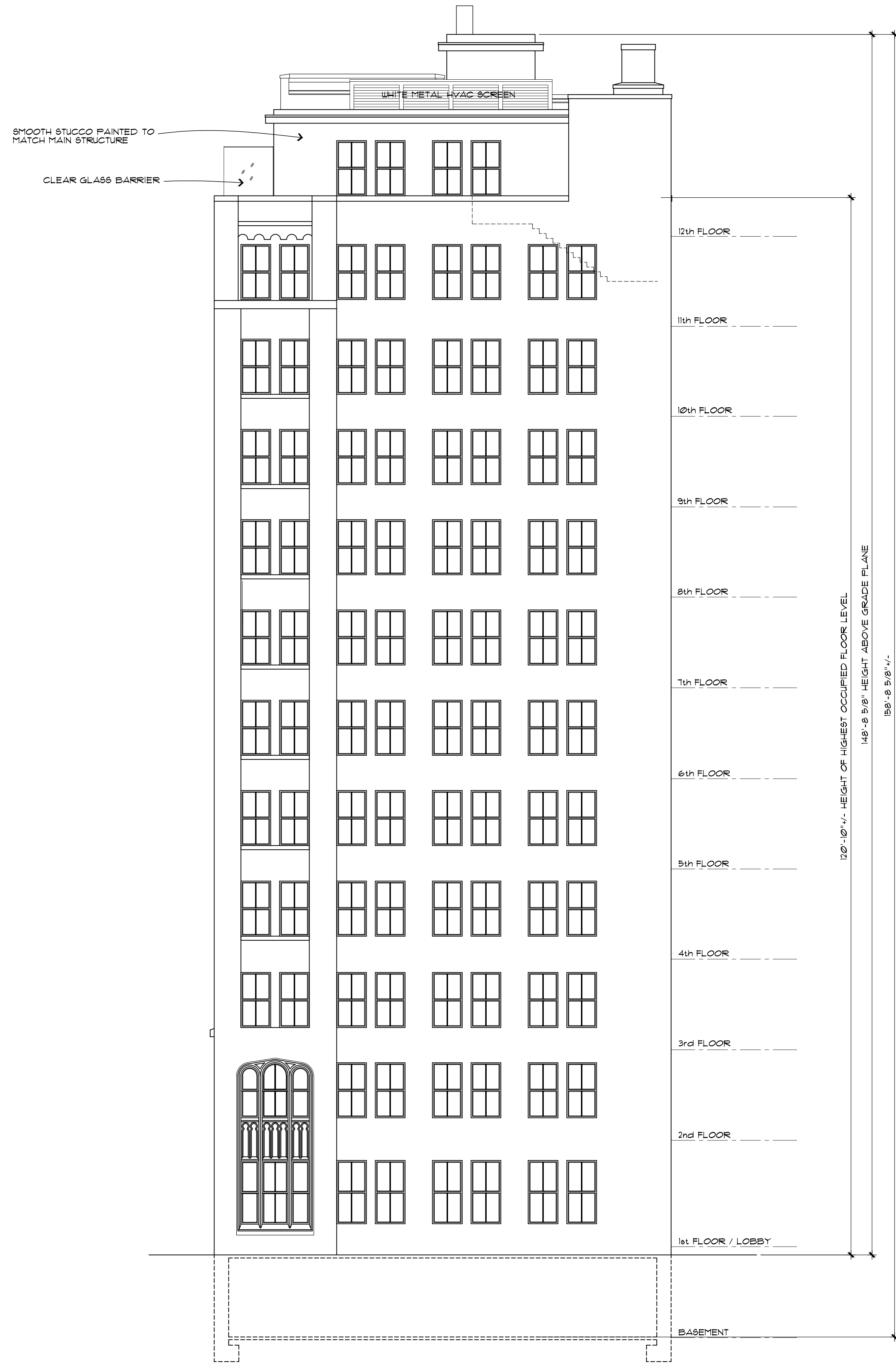
NOTE: FIRE EXTINGUISHERS SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEW AND MUST BE INSTALLED IN CONSPICUOUS LOCATIONS. CABINETS SHALL BE PROVIDED WITH A MEANS OF READY ACCESS AND SHALL NOT BE LOCKED

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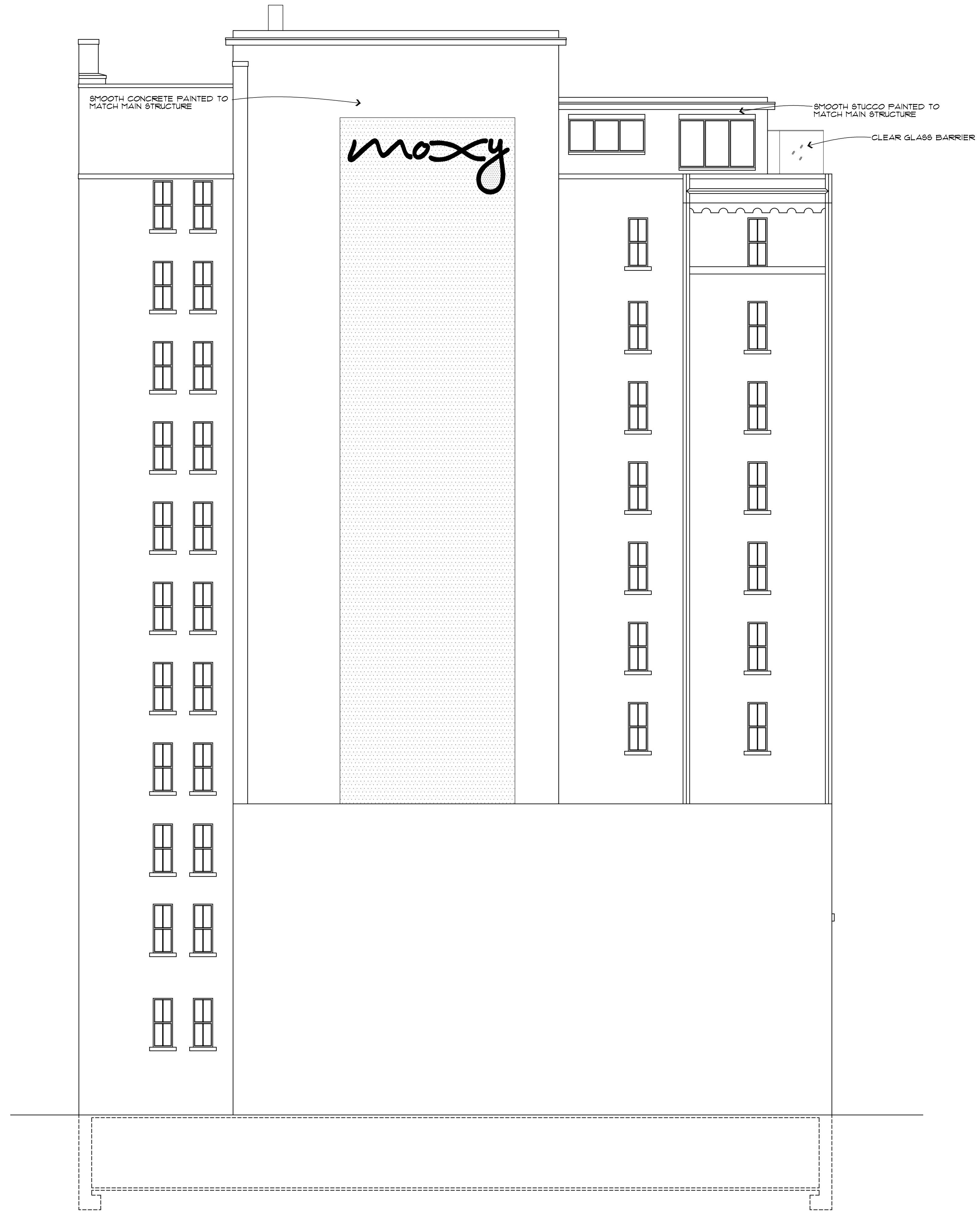
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| Seal | |
| Project Title | Craig A. Otto ARCHITECT, INC. DESIGN • PLANNING • ARCHITECTURE 5044 Augusta Rd. Lexington, South Carolina 29072 Phone (803) 857-0004 craig@ottoarchitect.com |
| Drawing Title | MOXY by MARRIOTT RENOVATIONS TO 1200 / 1202 MAIN STREET CIRCA 905 COLUMBIA, SOUTH CAROLINA |
| Drawing Title | RENOVATED UPPER ROOF PLAN |
| Consultant | OTTO |
| Drawn By | OTTO |
| Date | AUGUST 31, 2022 |
| Drawing No. | A1.13 |

NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
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1 PROPOSED EAST ELEVATION
 SCALE: 1/8" = 1' - 0"

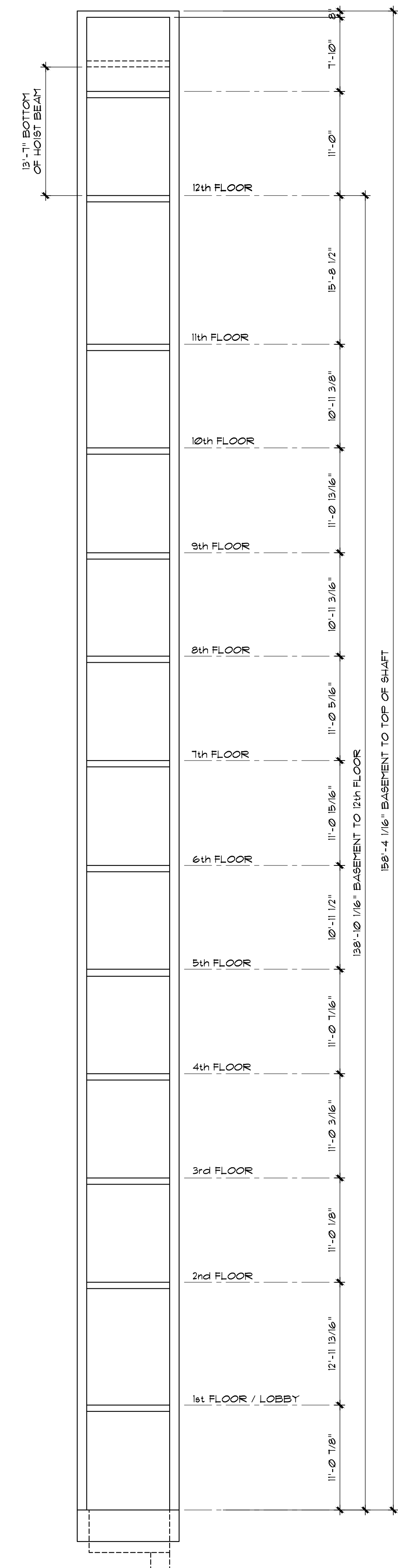


2 PROPOSED NORTH ELEVATION
 SCALE: 1/8" = 1' - 0"

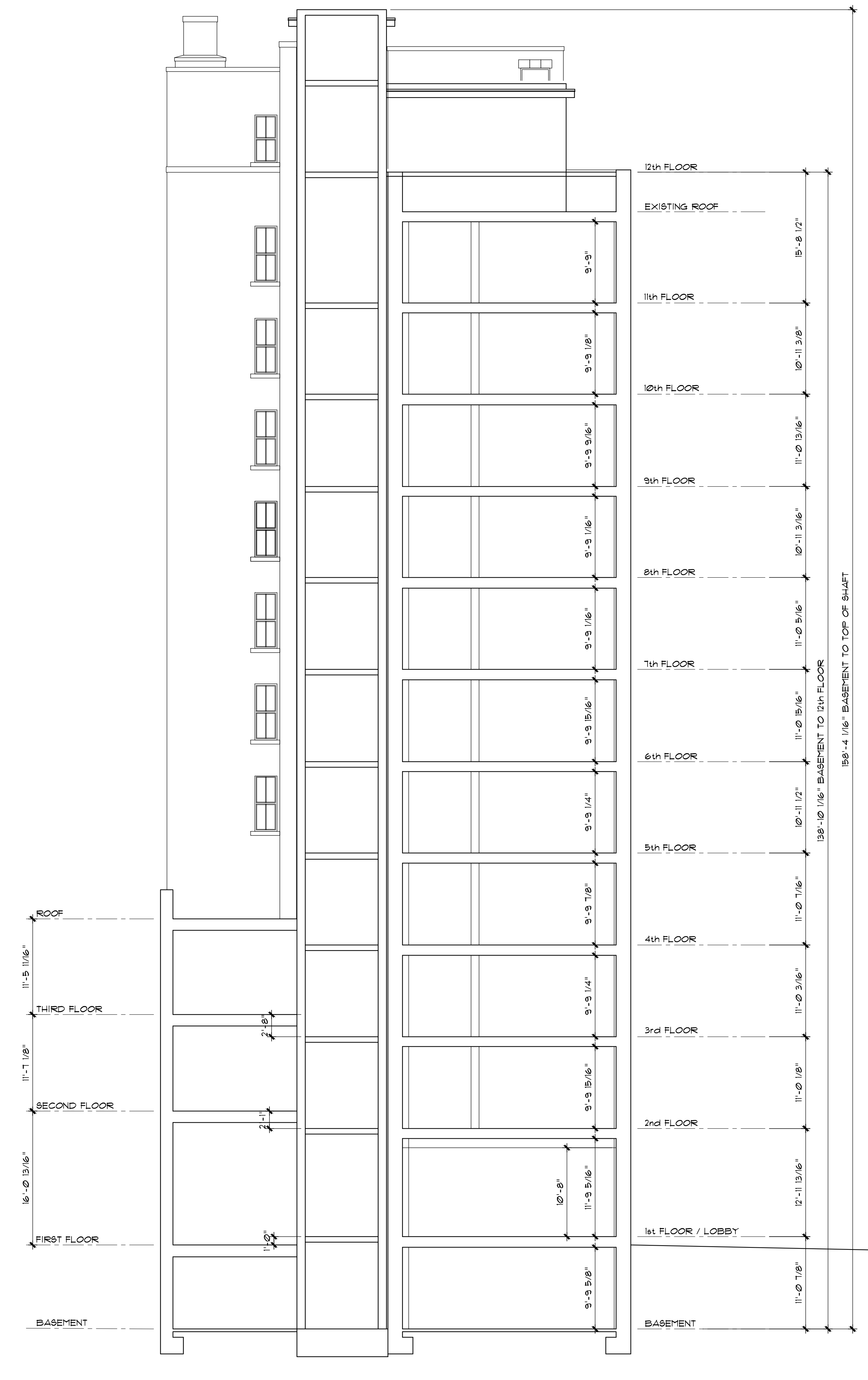
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 SYSTEM INSTALLED THROUGHOUT
 PER IBC 903.3.1.1 AND NFPA 13

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| Project Title | Craig A. Otto ARCHITECT, INC. DESIGN • PLANNING • ARCHITECTURE 5044 Augusta Rd. Lexington, South Carolina 29072 Phone (803) 857-0004 craig@ottoarchitect.com |
| | moxy MOXY by MARRIOTT RENOVATIONS TO 1200 / 1202 MAIN STREET CIRC. 105 COLUMBIA, SOUTH CAROLINA |
| Drawing Title | RENOVATED EXTERIOR ELEVATIONS |
| Drawn By | OTTO |
| Date | AUGUST 31, 2022 |
| Drawing No. | A2.2 |

NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
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2 STAIR TOWER SCHEMATIC BUILDING SECTION
 SCALE: 1/8" = 1' - 0"



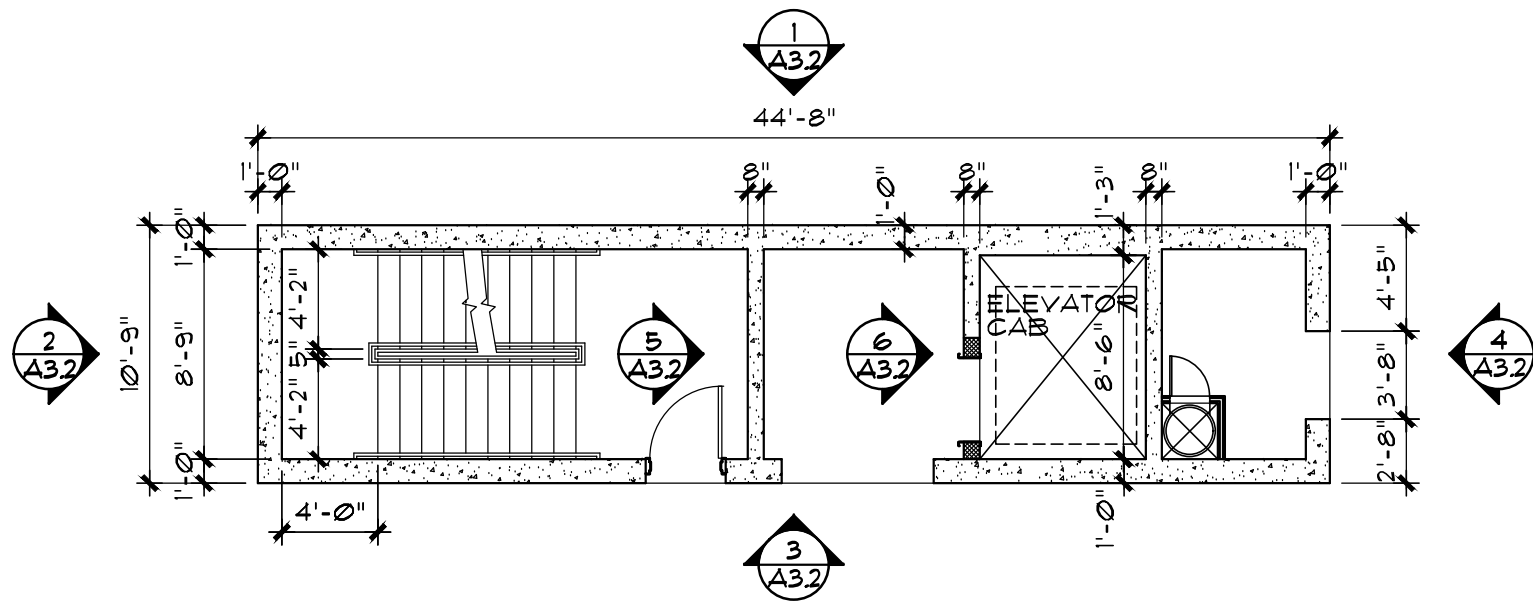
1 RENOVATED SCHEMATIC BUILDING SECTION
 SCALE: 1/8" = 1' - 0"

FIRE SPRINKLER NOTE:
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| Revision | |
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| Project Title | Craig A. Otto ARCHITECT, INC. DESIGN • PLANNING • ARCHITECTURE 5044 Augusta Rd. Lexington, South Carolina 29072 Phone (803) 857-0004 craig@ottoarchitect.com |
| | MOXY by MARRIOTT RENOVATIONS TO 1200 / 1202 MAIN STREET CIRCA 1950 COLUMBIA, SOUTH CAROLINA |
| Drawing Title | RENOVATED SCHEMATIC BUILDING SECTIONS |
| Drawn By | OTTO |
| Date | AUGUST 31, 2022 |
| Drawing No. | A3.1 |

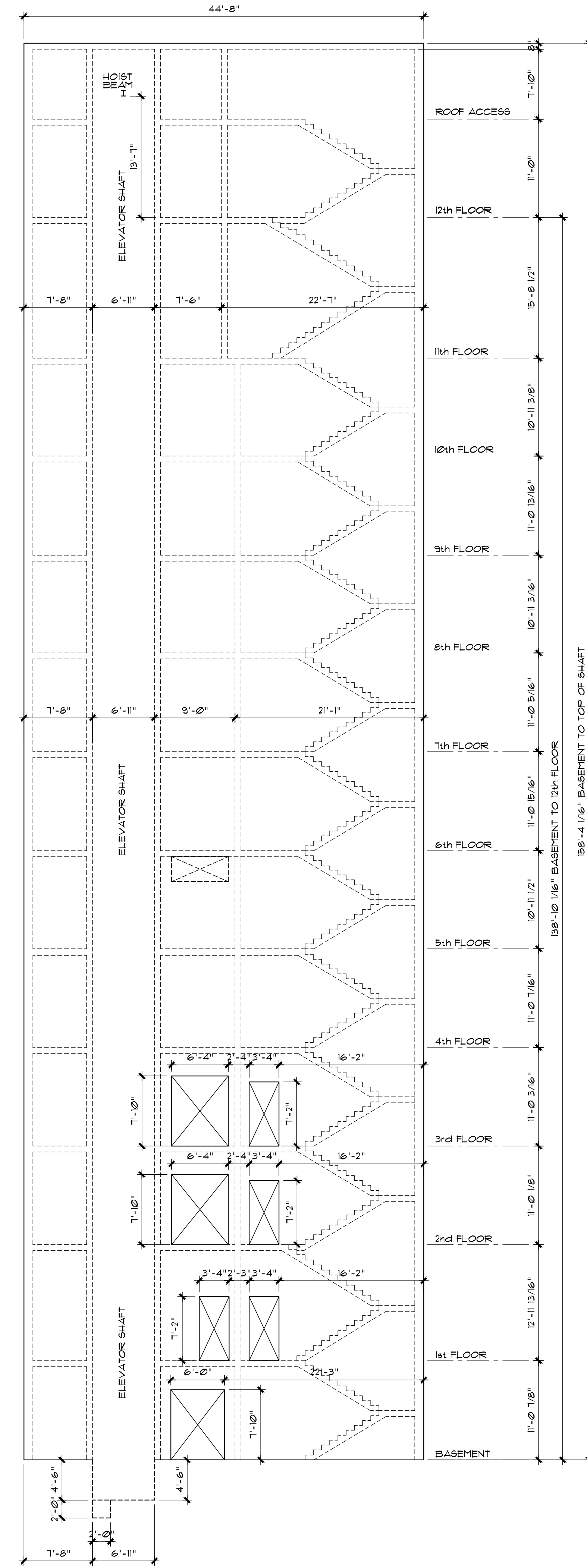
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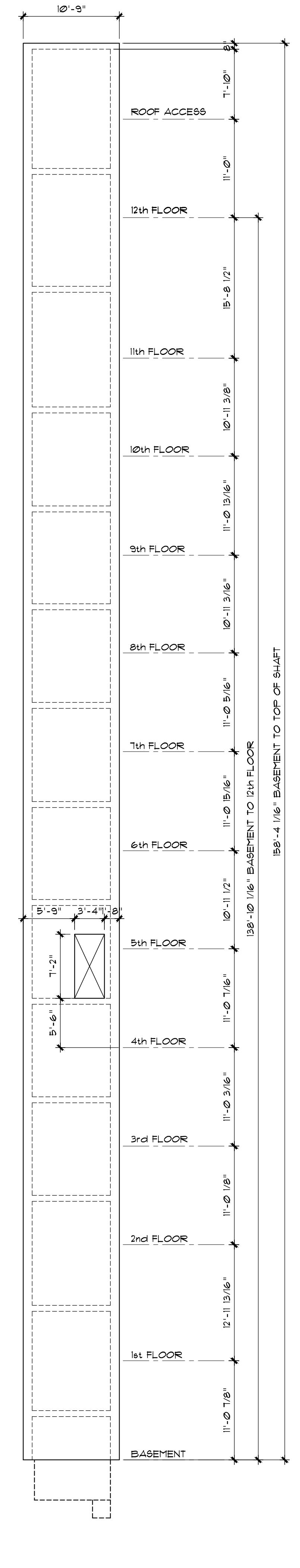


1 PLAN VIEW OF STAIR TOWER
 SCALE: 1/8" = 1' - 0"

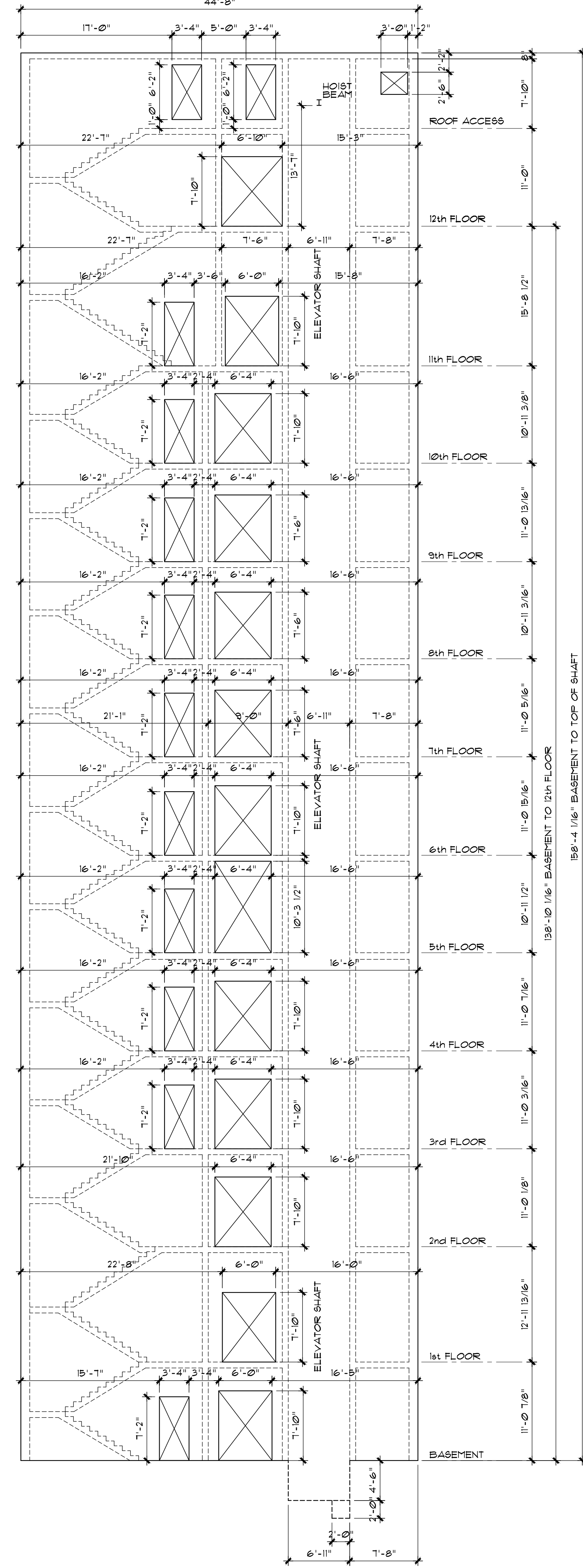
NOTE: ALL FLOORS ARE DIFFERENT - SEE FLOOR PLANS AND ELEVATIONS BELOW FOR EACH FLOOR VARIATION



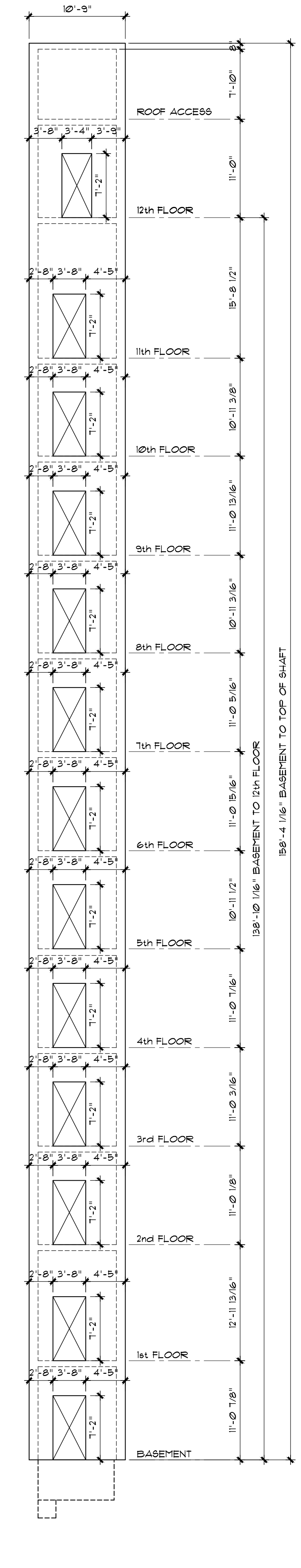
1 STAIR TOWER ELEVATION
 SCALE: 1/8" = 1' - 0"



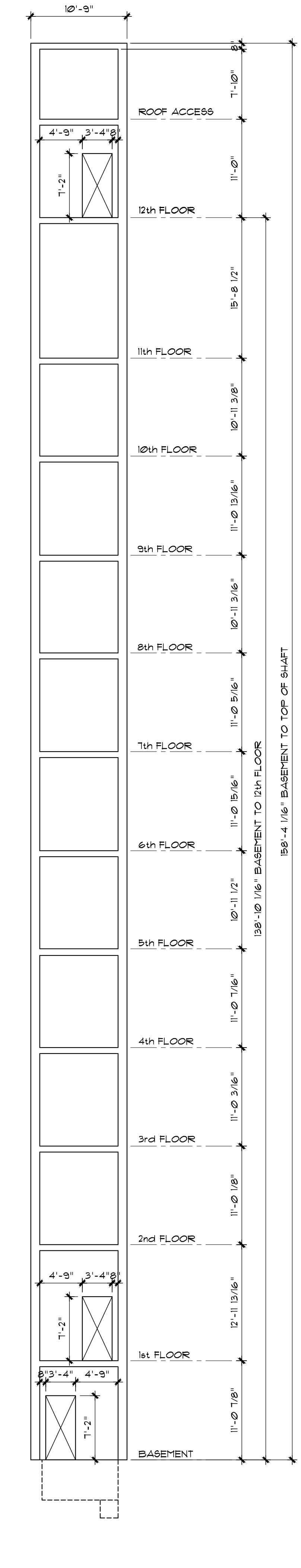
2 STAIR TOWER ELEVATION
 SCALE: 1/8" = 1' - 0"



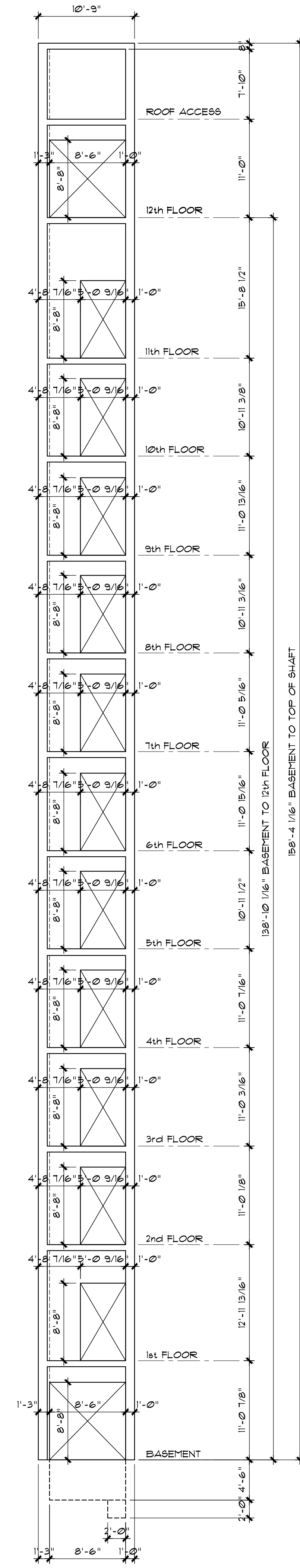
3 STAIR TOWER ELEVATION
 SCALE: 1/8" = 1' - 0"



4 STAIR TOWER ELEVATION
 SCALE: 1/8" = 1' - 0"



5 STAIR TOWER ELEVATION
 SCALE: 1/8" = 1' - 0"



6 STAIR TOWER ELEVATION
 SCALE: 1/8" = 1' - 0"

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| Project Title | MOXY by MARRIOTT RENOVATIONS TO 100 / 102 MAIN STREET COLUMBIA, SOUTH CAROLINA |
| | Craig A. Otto ARCHITECT, INC. DESIGN • PLANNING • ARCHITECTURE |
| Drawing Title | STAIR TOWER ELEVATIONS Consultant |
| | Drawn By OTTO Date AUGUST 31, 2022 Drawing No. A3.2 |
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Door Schedule Continued

| DOOR INFORMATION | | | | | | | | FRAME | FIRE RATING | HARDWARE | REMARKS |
|------------------|----------------------|---|-----------|----------|-----------------|------|---------|----------|-------------|----------|---|
| MARK | ROOM NAME | SIZE | THICKNESS | MATERIAL | FINISH | TYPE | GLAZING | MATERIAL | | SET # | |
| | ALL GUEST ROOMS | | | | | | | | | | |
| GR01 | GUEST ROOM ENTRY | 3'-0"W X 7'-0" | 1 3/4" | SCW | PLAM | M | - | HM | 20 MIN | 1 | CARD READER |
| GR02 | GUEST ROOM BATH | 3'-6"W X 7'-0" | 1 3/4" | SCW | PLAM/MIRROR | N | - | HM | - | 2 | MIRRORED ROLLING BARN DOOR |
| | BASEMENT | | | | | | | | | | |
| B01 | SPEAKEASY (EXTERIOR) | 3'-0"W X 7'-0"H | 1 3/4" | ALUM/GL | ANODIZED | A | C/T | ALUM | - | 4 | VERIFY DOOR AND FRAME SIZE IN EXISTING OPENING |
| B05 | UNISEX TOILET | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 5 | |
| B06 | UNISEX TOILET | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 5 | |
| B08 | VESTIBULE | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 7 | CARD READER |
| B11 | FITNESS | 3'-0"W X 7'-0"H + SIDELITE | 1 3/4" | SCW | PLAM | C | - | HM | - | 7 | CARD READER |
| B12 | STAFF TOILET | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 5 | |
| B13 | BREAK ROOM | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 7 | |
| B14 | SERVICE CORRIDOR | 3'-4"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 7 | CARD READER |
| B15 | ELEVATOR EQUIPMENT | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | 90 MIN | 8 | VERIFY DOOR AND FRAME SIZE IN EXISTING OPENING |
| B16 | ENGINEER | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 7 | CARD READER |
| B17 | MAIN ELECTRICAL | 3'-6"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | 90 MIN | 9 | |
| B18 | ENGINEER STORAGE | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 10 | |
| B19 | MECHANICAL | PAIR (2) 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | D | - | HM | 90 MIN | 11 | |
| B20 | FIRE PUMP | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 8 | |
| B22 | STORAGE | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 10 | |
| B23 | LAUNDRY | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 16 | |
| B24 | STORAGE | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 10 | |
| B25 | DRYERS | 2'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 10 | |
| B51A | NEW STAIR | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | E | - | HM | 90 MIN | 12 | PROVIDE 3" x 25" VISIBLE FIRE RATED GLASS LITE. PROVIDE AUDIBLE ALARMED EGRESS. |
| B51B | NEW STAIR | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | E | - | HM | 90 MIN | 12 | PROVIDE 3" x 25" VISIBLE FIRE RATED GLASS LITE |
| B52 | ELEVATOR ENCLOSURE | 3'-6"W X 7'-0"H (SEE ELEVATOR DRAWINGS) | - | METAL | BY MANUFACTURER | - | - | HM | 90 MIN | 13 | PROVIDED BY ELEVATOR MANUFACTURER |
| B53 | CHUTE TERMINATION | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | 90 MIN | 14 | CARD READER |
| | FIRST FLOOR | | | | | | | | | | |
| 101 | MAIN ENTRY LOBBY | PAIR (2) 3'-0"W X 7'-0"H | 1 3/4" | ALUM/GL | ANODIZED | F | C/T | ALUM | - | 4A | VERIFY DOOR AND FRAME SIZE IN EXISTING OPENING |
| 105 | SUB LOBBY | PAIR (2) 3'-0"W X 7'-0"H | 1 3/4" | ALUM/GL | ANODIZED | G | C/T | ALUM | - | 4A | VERIFY DOOR AND FRAME SIZE IN EXISTING OPENING |
| 108 | LOUNGE | PAIR (2) 3'-0"W X 7'-0"H | 1 3/4" | ALUM/GL | ANODIZED | H | C/T | ALUM | - | 4A | VERIFY DOOR AND FRAME SIZE IN EXISTING OPENING |
| 111A | EXIT PASSAGEWAY | 3'-0"W X 7'-0"H | 1 3/4" | GHM | PAINT | J | - | GHM | 90 MIN | 15 | PROVIDE R-6.5 INSULATION. PROVIDE 3" x 25" VISIBLE FIRE RATED GLASS LITE |
| 111B | EXIT PASSAGEWAY | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | E | - | HM | 90 MIN | 16 | |
| 111C | EXIT PASSAGEWAY | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | 90 MIN | 17 | |
| 112 | WORK AREA | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 17 | |
| 113 | SALES OFFICE | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 6 | |
| 114 | GM OFFICE | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 6 | |
| 116 | UNISEX TOILET | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 5 | |
| 117 | ACCESSIBLE TOILET | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | - | 5 | |
| 118 | DINING | 3'-0"W X 7'-0"H | 1 3/4" | ALUM/GL | ANODIZED | K | C/T | ALUM | - | 4A | VERIFY DOOR AND FRAME SIZE IN EXISTING OPENING |
| 119 | KITCHEN | 3'-0"W X 8'-0"H | 1/2" | GLASS | CLEAR | L | C/T | GLASS | - | 18 | VERIFY DOOR AND FRAME SIZE IN EXISTING OPENING |
| 122 | COMMAND CENTER | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | B | - | HM | 45 MIN | 6 | |
| 151A | NEW STAIR | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | E | - | HM | 90 MIN | 12 | PROVIDE 3" x 25" VISIBLE FIRE RATED GLASS LITE |
| 151B | NEW STAIR | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | E | - | HM | 90 MIN | 12 | PROVIDE 3" x 25" VISIBLE FIRE RATED GLASS LITE |
| 152 | ELEVATOR ENCLOSURE | 3'-6"W X 7'-0"H (SEE ELEVATOR DRAWINGS) | - | METAL | BY MANUFACTURER | - | - | HM | 90 MIN | 13 | PROVIDED BY ELEVATOR MANUFACTURER |
| 153 | CHUTE ACCESS | 3'-0"W X 7'-0"H | 1 3/4" | SCW | PLAM | C | - | HM | 45 MIN | 14 | CARD READER |

Hardware Schedule

| | | |
|--|--|--|
| <p>SET #1 3 EA. HINGES 1 EA. ELECTRONIC LEVER TRIM WITH LOCKSET 1 EA. DOOR GUARD SAFETY LATCH 1 EA. TAMPER-PROOF 180 DEGREE ONE-WAY VIEWER WITH SLIDING COVER (INSTALLED ON GUEST ROOM SIDE) 1 EA. PERIMETER GASKETING 1 EA. THRESHOLD 1 EA. ADJUSTABLE TYPE AUTOMATIC 2 STAGE HYDRAULIC DOOR CLOSER WITH INTEGRAL DOOR STOP 1 EA. SWEEP</p> <p>SET #2 PROVIDE ALL BARN DOOR HARDWARE REQUIRED FOR A COMPLETE DOOR SET INCLUDING PRIVACY LATCH AND BUMPER</p> <p>SET #3 (CONNECTING DOORS IF REQUIRED) 3 EA. HINGES (EACH DOOR LEAF - 2 SPRING HINGES, 1 STANDARD HINGE) 1 EA. LEVER TRIM (GUEST SUITE SIDE) AND BLANK TRIM ON THE OTHER SIDE (EACH DOOR) 1 EA. THUMB TURN DEADBOLT (EACH DOOR LEAF) 1 EA. PERIMETER GASKETING (EACH DOOR LEAF) 1 EA. OVERHEAD DOOR STOP (EACH DOOR LEAF) 1 EA. DOOR SWEEP (EACH DOOR LEAF) 1 EA. DOOR GUARD SAFETY LATCH (EACH DOOR LEAF) 1 EA. THRESHOLD</p> <p>SET #4 1 EA. PANIC DEVICE 1 EA. CLOSER ALL HARDWARE BY DOOR SUPPLIER PROVIDE THRESHOLD AND ALL WEATHER STRIPPING COMPONENTS</p> <p>SET #4A 2 EA. PANIC DEVICE 2 EA. CLOSERS ALL HARDWARE BY DOOR SUPPLIER PROVIDE THRESHOLD AND ALL WEATHER STRIPPING COMPONENTS</p> <p>SET #5 3 EA. HINGES 1 EA. LEVER PRIVACY SET 1 EA. WALL STOP 3 EA. SILENCERS</p> | <p>SET #6 3 EA. HINGES 1 EA. LEVER LOCKSET 1 EA. WALL STOP 3 EA. SILENCERS</p> <p>SET #7 3 EA. HINGES 1 EA. CARD READER 1 EA. DOOR CLOSER 1 EA. WALL STOP 3 EA. SILENCERS</p> <p>SET #8 3 EA. HINGES 1 EA. LEVER LOCKSET 1 EA. CLOSER 3 EA. SILENCERS</p> <p>SET #9 3 EA. HINGES 1 EA. PANIC DEVICE 1 EA. CLOSER 1 EA. WALL STOP 3 EA. SILENCERS</p> <p>SET #10 3 EA. HINGES 1 EA. LEVER PASSAGE SET 1 EA. WALL STOP 3 EA. SILENCERS</p> <p>SET #11 6 EA. HINGES 2 EA. CLOSERS 2 EA. LEVER LOCKSET 2 EA. WALL STOP 6 EA. SILENCERS</p> <p>SET #12 3 EA. HINGES 1 EA. EXIT DEVICE 1 EA. DOOR CLOSER 1 EA. PERIMETER GASKETING 1 EA. WALL STOP</p> <p>SET #13 ALL DOOR HARDWARE PROVIDED BY THE ELEVATOR MANUFACTURER</p> | <p>SET #14 3 EA. HINGES 1 EA. CARD READER 1 EA. CLOSER 1 EA. WALL STOP 1 EA. PERIMETER GASKETING</p> <p>SET #15 3 EA. HINGES 1 EA. EXIT DEVICE 1 EA. DOOR CLOSER 1 EA. THRESHOLD 1 EA. DOOR SWEEP 1 EA. WEATHERSTRIPPING 1 EA. RAIN DRIP CAP</p> <p>SET #16 3 EA. HINGES 1 EA. LEVER PASSAGE SET 1 EA. CLOSER 1 EA. PERIMETER GASKETING</p> <p>SET #17 3 EA. HINGES 1 EA. CARD READER 1 EA. DOOR CLOSER 1 EA. WALL STOP 1 EA. PERIMETER GASKETING</p> <p>SET #18 RE-USE ALL HARDWARE AND COMPONENTS FROM THE EXISTING GLASS RESTAURANT WALL</p> <p>SET #19 3 EA. HINGES 1 EA. LEVER LOCKSET 1 EA. DOOR CLOSER 1 EA. THRESHOLD 1 EA. DOOR SWEEP 1 EA. WEATHERSTRIPPING 1 EA. RAIN DRIP CAP</p> <p>SET #20 3 EA. HINGES 1 EA. LEVER LOCKSET 1 EA. DOOR CLOSER 1 EA. PERIMETER GASKETING</p> <p>SET #21 ALL HARDWARE BY DOOR SUPPLIER PROVIDE THRESHOLD AND ALL WEATHER STRIPPING COMPONENTS</p> |
|--|--|--|

NOTE TO GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS:
 The General Contractor and all Subcontractors and Material Suppliers shall review and be familiar with all drawings associated with this project including the architectural, civil, structural, plumbing, mechanical, and electrical drawings. Specific requirements depicted on one drawing page or in one portion of the drawings shall be applicable to all drawing pages and all portions of the drawings. Should a conflict or discrepancy be discovered in the drawings during the bidding or negotiation phase, the General Contractor, Subcontractor or Material Supplier shall immediately notify the Architect and request additional information and clarification. Failure to do so will not relieve the General Contractor, Subcontractor or Material Supplier from the requirements of all portions of the drawings.

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13

| | |
|---------------|---|
| Date | |
| Revision | |
| No. | |
| Seal | |
| Project Title | <p>MOXY by MARRIOTT RENOVATIONS TO 1200 / 1202 MAIN STREET CIRCA 905 COLUMBIA, SOUTH CAROLINA</p> |
| Drawing Title | DOOR AND HARDWARE SCHEDULE |
| Consultant | <p>Craig A. Otto ARCHITECT, INC. DESIGN • PLANNING • ARCHITECTURE 5044 Augusta Rd. Lexington, South Carolina 29072 Phone (803) 857-0004 craig@ottoarchitect.com</p> |
| Drawn By | OTTO |
| Date | AUGUST 31, 2022 |
| Drawing No. | A6.1 |

STRUCTURAL DESIGN CRITERIA:

1. APPLICABLE BUILDING CODES:

2018 INTERNATIONAL BUILDING CODE
 ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
 ACI 318-14 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES

2. RISK FACTOR: II

3. LIVE LOADS:

| | |
|--|---------|
| OFFICES | 50 PSF |
| LOBBIES/ FIRST FLOOR CORRIDORS | 100 PSF |
| RESTAURANTS AND DINING ROOMS | 100 PSF |
| PRIVATE ROOMS AND ROOMS SERVING THEM | 40 PSF |
| PUBLIC ROOMS AND ROOMS SERVING THEM | 100 PSF |
| STAIRS AND EXITS | 100 PSF |
| RETAIL | 100 PSF |
| EXPOSED DECKS | 100 PSF |

NOTE: IT IS UNLAWFUL TO PLACE, CAUSE OR PERMIT TO BE PLACED, ON ANY FLOOR OR ROOF OF A BUILDING, STRUCTURE, OR PORTION THEREOF, A LOAD GREATER THAN PERMITTED BY THESE REQUIREMENTS AND THE APPLICABLE BUILDING CODE(S).

ROOF:

| | |
|--|---------|
| ORDINARY, PITCHED AND CURVED ROOFS | 20 PSF |
| ROOF USED FOR GARDENS OR ASSEMBLY | 100 PSF |
| AWNINGS: | |
| FABRIC WITH SKELETON STRUCTURE | 5 PSF |
| ALL OTHER AWNINGS | 20 PSF |

4. BASIC LATERAL SYSTEM:

BEARING WALL SYSTEMS
 ORDINARY REINFORCED CONCRETE SHEAR WALLS R=4

5. DEAD LOADS: USE ACTUAL LOADS OF ALL BUILDING MATERIALS

6. WIND LOADS:

BASIC DESIGN WIND VELOCITY V = 130 MPH (Vasd = 101 MPH)
 WIND IMPORTANCE FACTOR (Iw) 1.0
 WIND EXPOSURE CATEGORY B

INTERNAL PRESSURE COEFFICIENTS:

ENCLOSED BUILDING +/- 18%
 PARTIALLY ENCLOSED +/- 55%
 OPEN BUILDING +/- 0%

COMPONENTS AND CLADDING WIND PRESSURES PER ASCE:

| WIND ZONE | AREA (SF) | POSITIVE PRESS. (PSF) | NEGATIVE PRESS. (PSF) |
|-----------|-----------|-----------------------|-----------------------|
| ROOF 1 | 10 | + 22 PSF | - 35 PSF |
| 1 | 20 | + 20 PSF | - 34 PSF |
| 1 | 50 | + 17 PSF | - 33 PSF |
| 1 | 100 | + 16 PSF | - 32 PSF |
| ROOF 2 | 10 | + 22 PSF | - 61 PSF |
| 2 | 20 | + 20 PSF | - 56 PSF |
| 2 | 50 | + 17 PSF | - 49 PSF |
| 2 | 100 | + 16 PSF | - 45 PSF |
| ROOF 3 | 10 | + 22 PSF | - 90 PSF |
| 3 | 20 | + 20 PSF | - 84 PSF |
| 3 | 50 | + 17 PSF | - 76 PSF |
| 3 | 100 | + 16 PSF | - 70 PSF |
| WALL 4 | 10 | + 38 PSF | - 41 PSF |
| 4 | 20 | + 36 PSF | - 40 PSF |
| 4 | 50 | + 34 PSF | - 38 PSF |
| 4 | 100 | + 32 PSF | - 36 PSF |
| 4 | 500 | + 28 PSF | - 32 PSF |
| WALL 5 | 10 | + 38 PSF | - 51 PSF |
| 5 | 20 | + 36 PSF | - 48 PSF |
| 5 | 50 | + 34 PSF | - 43 PSF |
| 5 | 100 | + 32 PSF | - 40 PSF |
| 5 | 500 | + 28 PSF | - 32 PSF |

NOTE:

- A. WIDTH OF PRESSURE ZONE "A" = 10 FEET
- B. THE DESIGN WIND PRESSURES INDICATED ABOVE ARE THE MINIMUM ALLOWED FOR EXTERIOR COMPONENTS AND CLADDING NOT SPECIFICALLY DESIGNED BY THE BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR THE BUILDING STRUCTURE.
- C. COMPONENT AND CLADDING DESIGNS SHALL BE CERTIFIED BY A REGISTERED STRUCTURAL ENGINEER TO MEET THE WIND LOADS AS STATED PER THE APPLICABLE BUILDING CODES.
- D. IN WIND BORNE REGIONS, GLAZED OPENINGS SHALL BE PROTECTED IN ACCORDANCE WITH THE IBC, ASCE AND LOCAL CODES REQUIREMENTS.

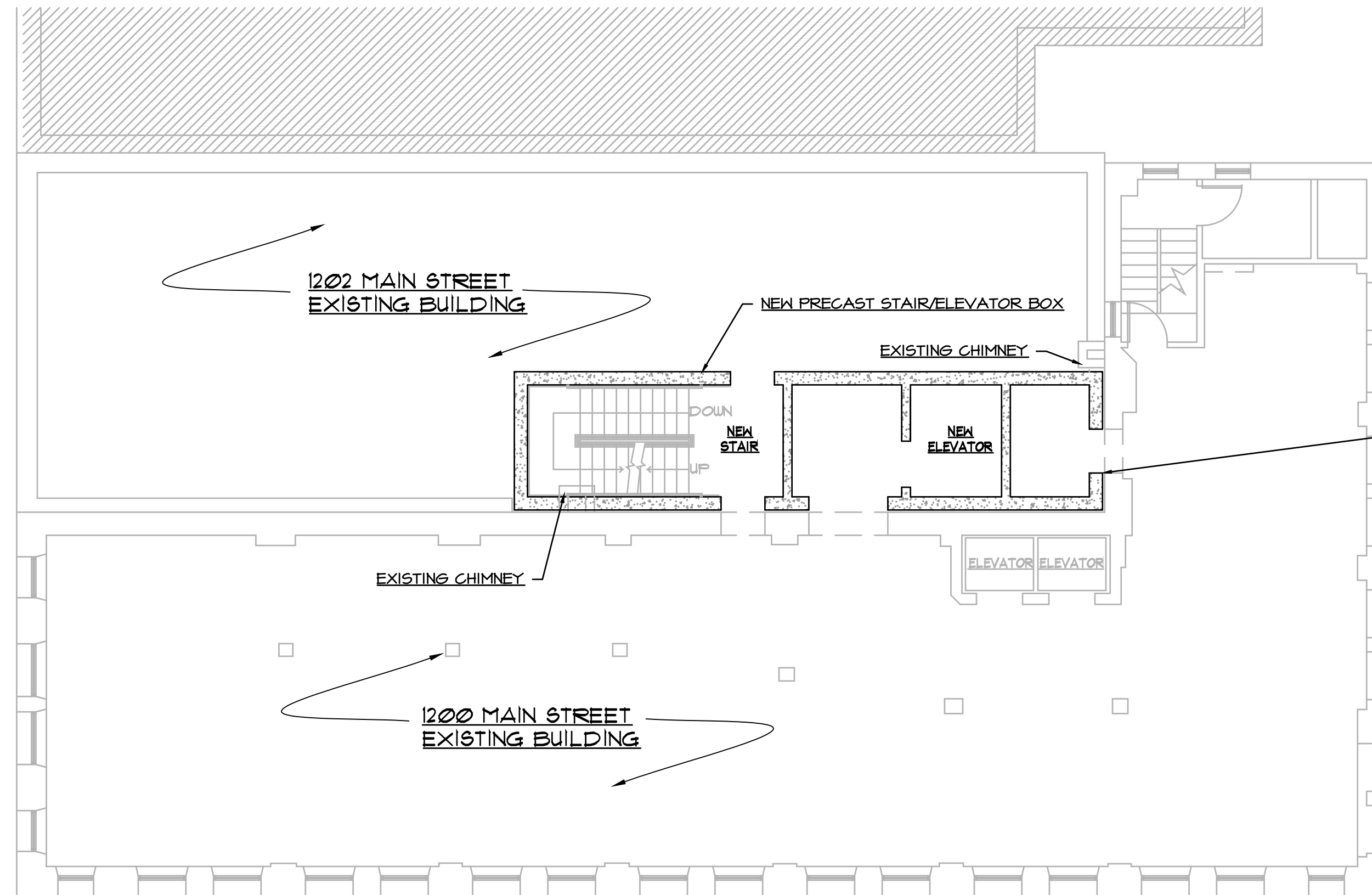
7. SNOW LOADS:

GROUND SNOW LOAD (PSF) Pg = 10 PSF

8. SEISMIC LOADS:

SOIL SITE CLASS C
 IMPORTANCE FACTOR (Ie) 1.0 [FOR RISK II]
 SPECTRAL RESPONSE ACCELERATIONS Ss = 0.347 S1 = 0.114
 SPECTRAL RESPONSE COEFFICIENTS Sds = 0.301 Sd1 = 0.114
 (Fa = 1.30 & Fv = 1.50)
 SEISMIC BUILDING DESIGN CATEGORY ... B
 RESPONSE MODIFICATION FACTOR ... R = 4
 SEISMIC RESPONSE COEFFICIENT ... Cs = 0.032
 DESIGN BASE SHEAR V = 263.4 KIPS

NOTE: GEOTECHNICAL INFORMATION, INCLUDING SEISMIC FACTORS, ORIGINATES FROM GEOTECHNICAL REPORT 21-2302, DATED 10/29/2021 FROM GS2 ENGINEERING.



REMOVE EXISTING WALLS/FOUNDATIONS CHIMNEYS, ETC. AT 1202 MAIN TO ALLOW FOR NEW STAIR ELEVATOR CONSTRUCTION UP AGAINST 1200 MAIN

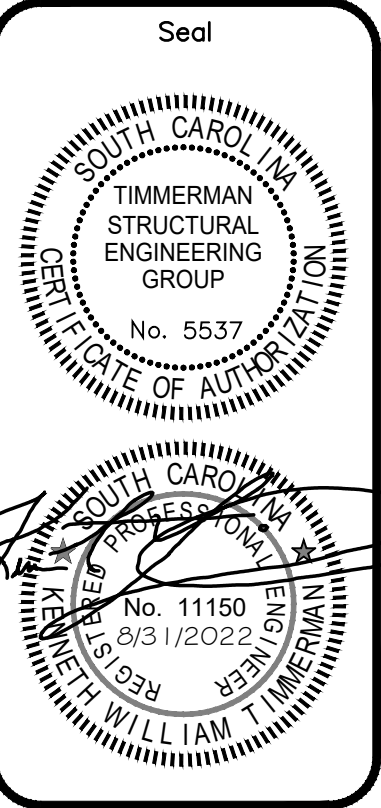
MOXY HOTEL BY MARRIOTT

USE OF EXISTING WALLS FOR CONCRETE PLACEMENT:
 THE CONTRACTOR MAY USE THE EXISTING BUILDING WALLS OF BUILDING 1200 AS PART OF THE CONCRETE FORMING TO INSTALL THE NEW PRECAST STAIR/ ELEVATOR CONSTRUCTION PROVIDED THE EXISTING WALLS ARE ADEQUATELY SHORED AGAINST THE LATERAL PRESSURES ASSOCIATED WITH THE PLACING OF WET CONCRETE.

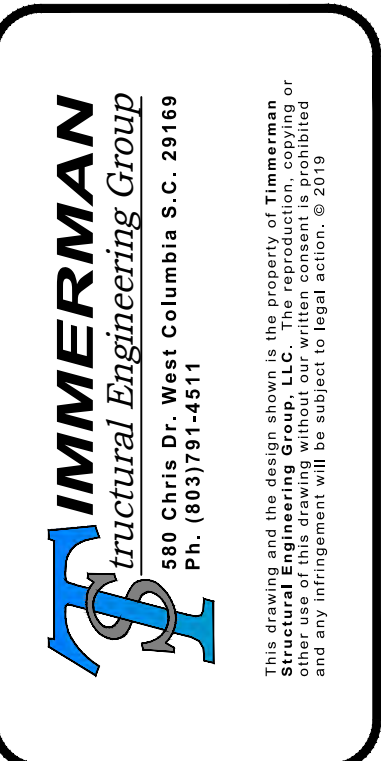
EXISTING WALL NOTE:
 THESE STRUCTURAL DRAWINGS DO NOT REFLECT THE REQUIRED WORK ASSOCIATED WITH THE STABILITY AND/OR REPAIRS ASSOCIATED WITH THE EXISTING EXTERIOR WALLS FOR 1200 AND/OR 1202 MAIN. THE EXTENT OF WALL/FOUNDATION SHORING WILL BE DETERMINED ONCE PILE CAP IS EXCAVATED.

| SHEET INDEX | |
|-------------|---|
| 5001 | COVER SHEET |
| 5100 | FOUNDATION PLAN AND FILE NUMBERING PLAN |
| 5101 | FOUNDATION SECTIONS AND DETAILS |
| 5102 | FOUNDATION SECTIONS AND DETAILS |
| 5200 | BASEMENT LEVEL PLAN |
| 5201 | TYPICAL LEVEL AND ATTACHMENT |
| 5202 | WALL SECTIONS AND DETAILS |
| 5203 | FIRE WATER STORAGE TANK DETAILS |
| 5300 | APPROXIMATE EXISTING ROOF FRAMING |
| 5301 | LEVEL 12 BAR FLOOR FRAMING PLAN |
| 5302 | LEVEL 12 BAR ROOF FRAMING PLAN |
| 5303 | LEVEL 12 BAR SECTIONS AND DETAILS |
| 5304 | LEVEL 12 BAR SECTIONS AND DETAILS |
| 5400 | NOTES |
| 5401 | NOTES |
| 5402 | SPECIAL INSPECTIONS |

| Revisions | |
|-----------|----|
| Revision | By |
| | |
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| | |
| | |



Job Title:
**BUILDING RENOVATION/ADDITION FOR:
 MOXY HOTEL BY MARRIOTT
 1200/1202 MAIN STREET
 COLUMBIA, SOUTH CAROLINA**



Drawing Title:
COVER SHEET

Scale: AS NOTED

Job Number: 21-203

Designed By: KWT

Drawn By: CPD

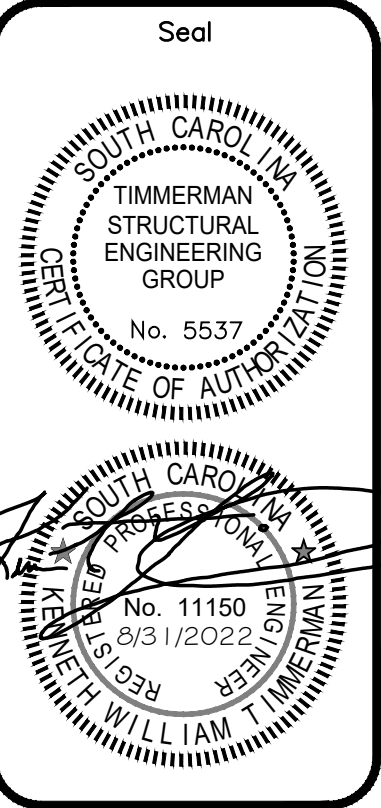
Checked By: KWT

Date: 8/31/2022

Sheet Number
S001
 Sheet 1 of 16

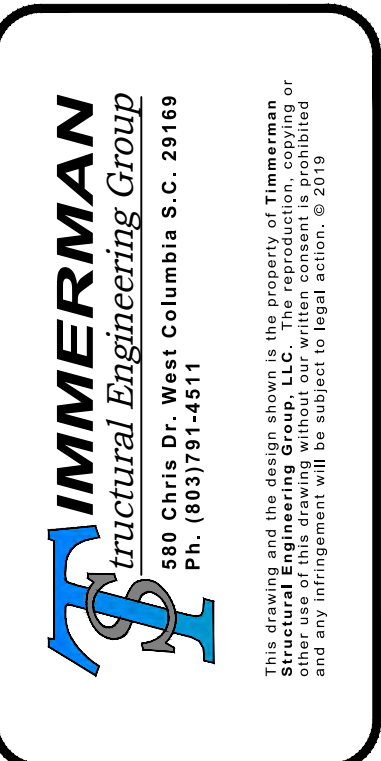
FOR PERMIT 8/31/2022

| Revisions | |
|-----------|----|
| Revision | By |
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FOR PERMIT 8/31/2022

Job Title:
**BUILDING RENOVATIONS/ADDITION FOR:
 MOXY HOTEL BY MARRIOTT
 1200/1202 MAIN STREET
 COLUMBIA, SOUTH CAROLINA**



Drawing Title:
HELICAL PILE PLAN

Scale: AS NOTED

Job Number: 21-203

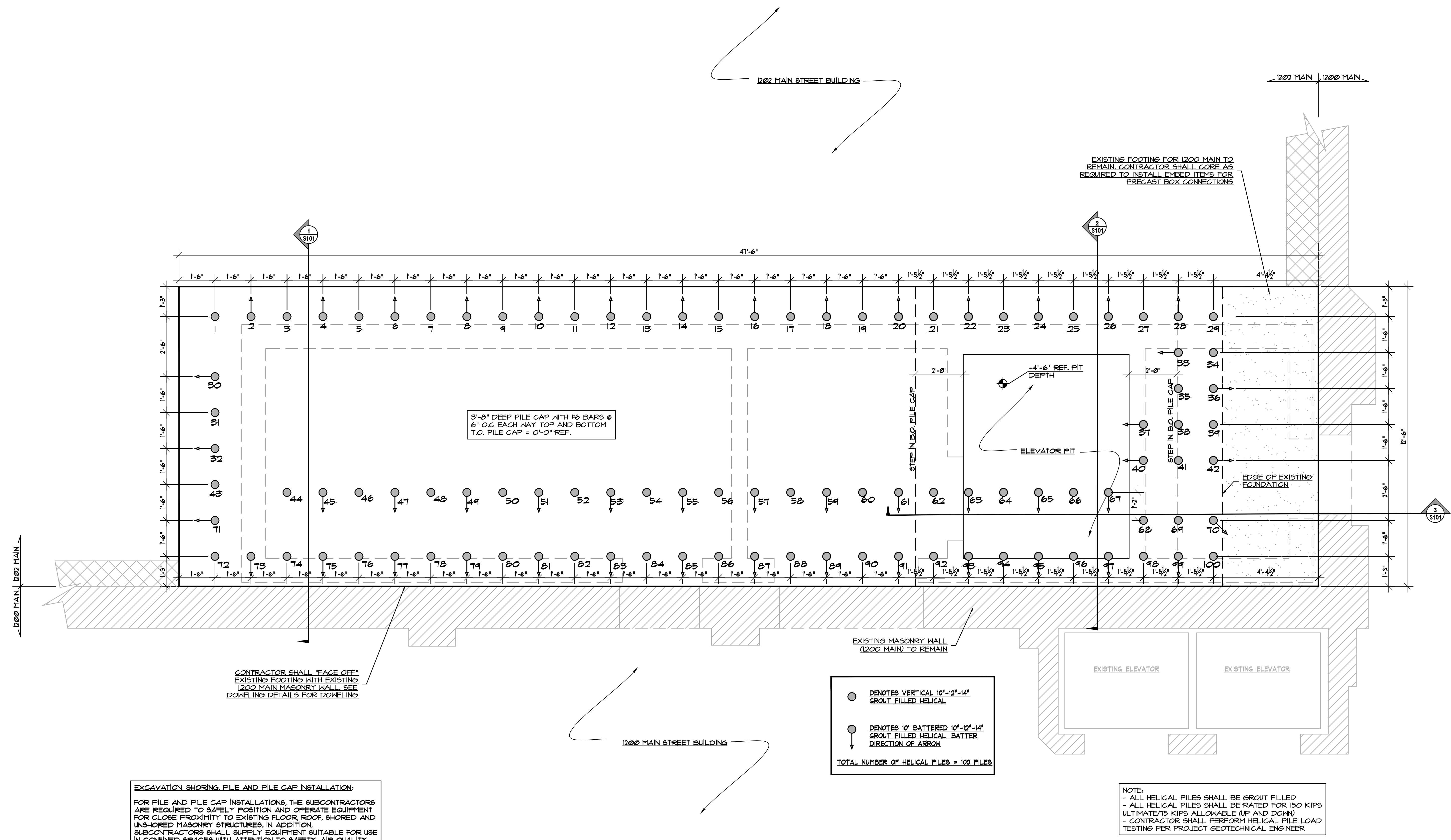
Designed By: KWT

Drawn By: CPD

Checked By: KWT

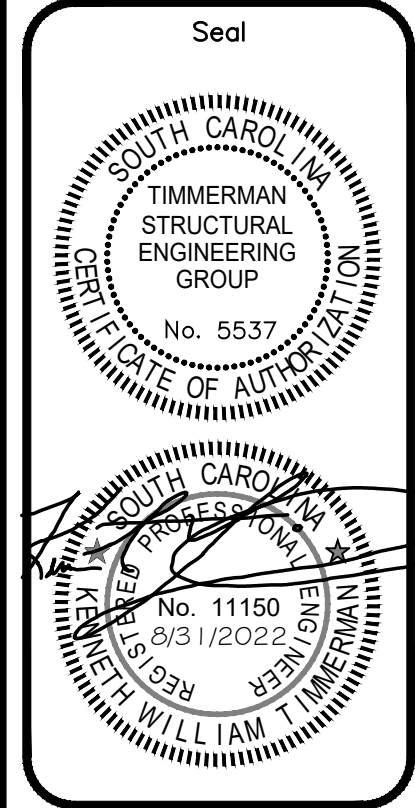
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Sheet Number
S100
 Sheet 2 of 16



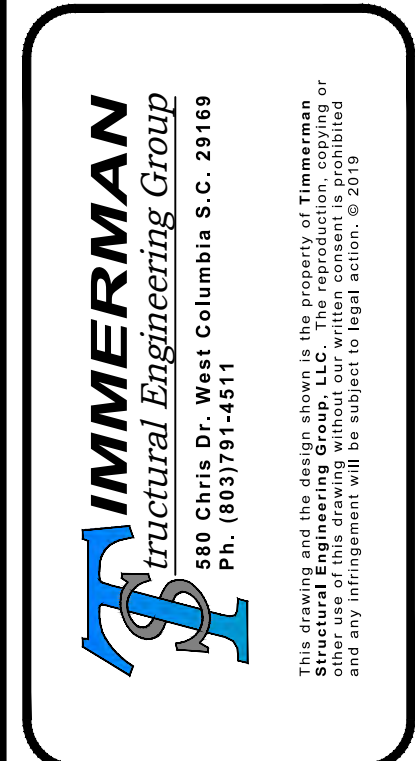
HELICAL PILE LAYOUT AND NUMBERING PLAN
 SCALE: 1/2" = 1'-0"

| Revisions | |
|-----------|----|
| Revision | By |
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FOR PERMIT 8/31/2022

Job Title:
**BUILDING RENOVATIONS/ADDITION FOR:
 MOXY HOTEL BY MARRIOTT
 1200/1202 MAIN STREET
 COLUMBIA, SOUTH CAROLINA**



Drawing Title:
BASEMENT LEVEL

Scale: AS NOTED

Job Number: 21-203

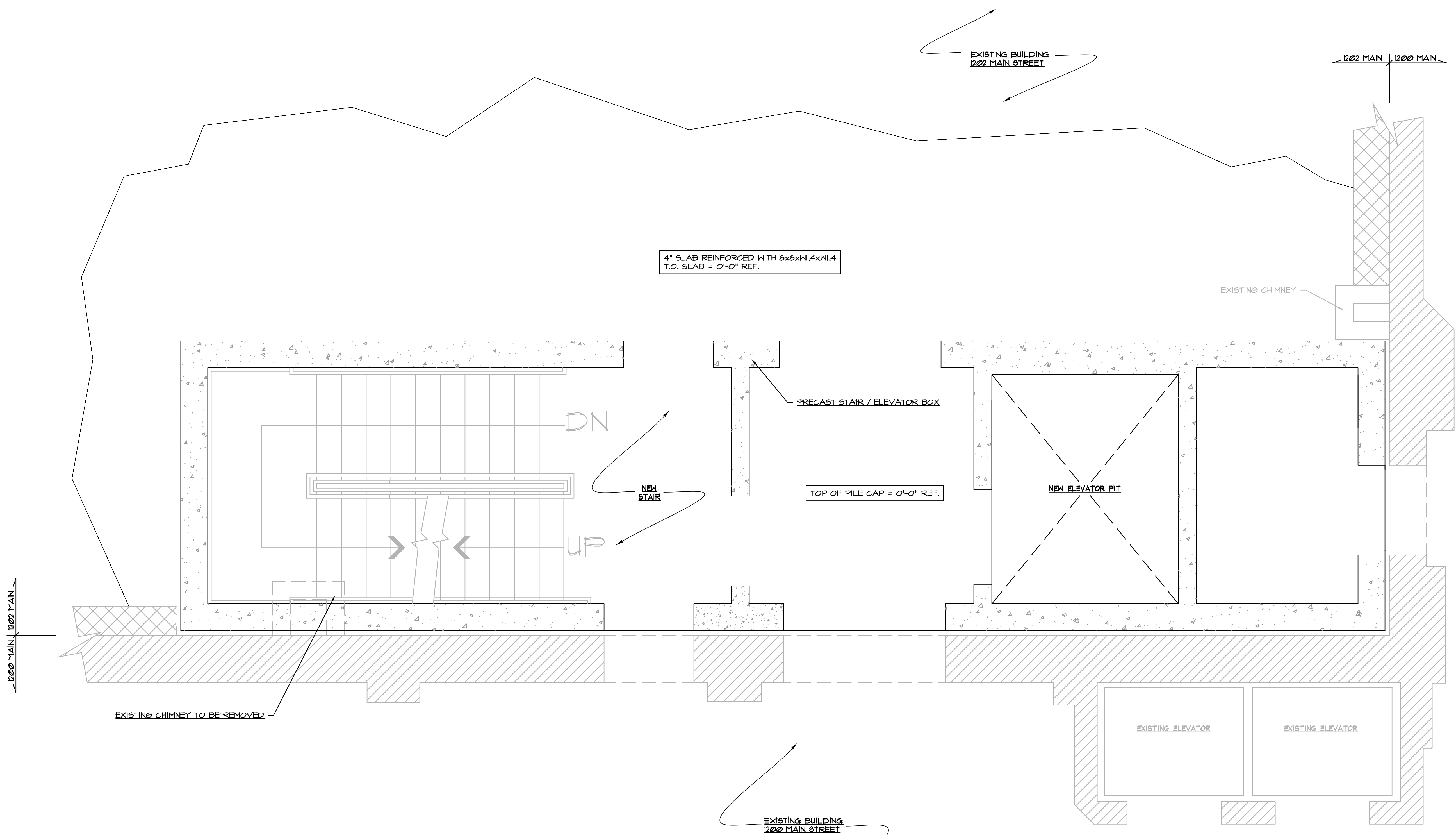
Designed By: KWT

Drawn By: CPD

Checked By: KWT

Date: 8/31/2022

Sheet Number
S200
 Sheet 5 of 16



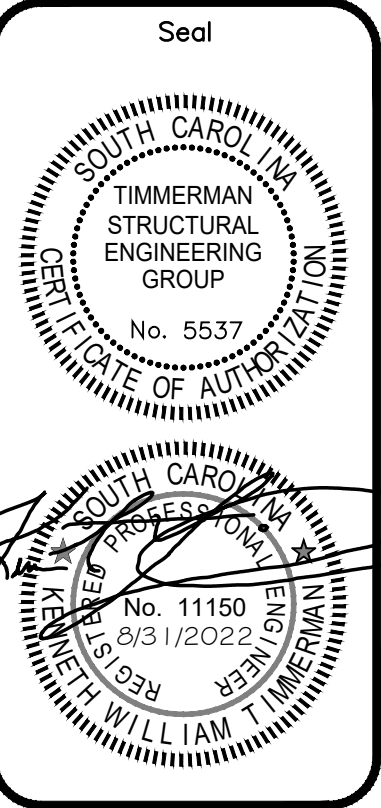
EXISTING WALL NOTE:
 THESE STRUCTURAL DRAWINGS DO NOT REFLECT THE REQUIRED WORK ASSOCIATED WITH THE STABILITY AND/OR REPAIRS ASSOCIATED WITH THE EXISTING EXTERIOR WALLS FOR 1200 AND/OR 1202 MAIN. THE EXTENT OF WALL/FOUNDATION SHORING WILL BE DETERMINED ONCE PILE CAP IS EXCAVATED.

USE OF EXISTING WALLS FOR CONCRETE PLACEMENT:
 THE CONTRACTOR MAY USE THE EXISTING BUILDING WALLS OF BUILDING 1200 AS PART OF THE CONCRETE FORMING TO CONSTRUCT THE NEW CAST-IN-PLACE STAIR/ ELEVATOR CONSTRUCTION PROVIDED THE WALL ARE ADEQUATELY SHORED AGAINST THE LATERAL PRESSURES ASSOCIATED WITH THE PLACING OF THE NET CONCRETE. THE CONTRACTOR MAY OPT TO CONSTRUCT THE NEW CAST WALL IN SHORTER SEGMENTS TO REDUCE THE CONCRETE PRESSURES.

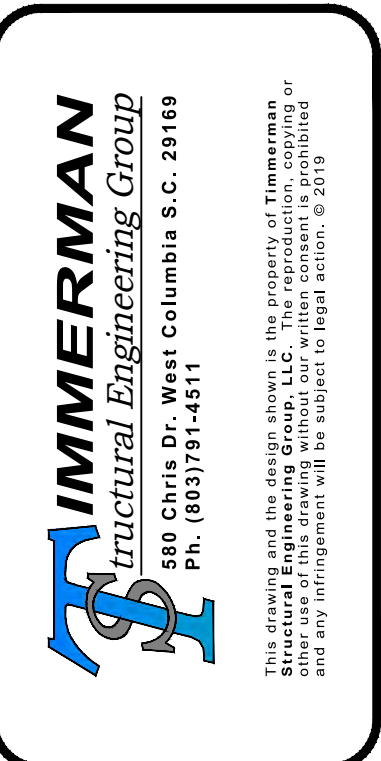
BASEMENT LEVEL PLAN
 SCALE: 1/2" = 1'-0"

PILE AND OIL CAP INSTALLATION NOTE:
 GIVEN THE FIELD CONDITIONS AND EXTENT OF EXCAVATIONS, THE CONTRACTOR WILL NEED TO PROVIDE SHORING FOR THE EXISTING MASONRY WALLS. PUSH STYLE STEEL PUSH PIERS ARE RECOMMENDED FOR SHORING THE EXISTING WALLS AND SHALL BE SPACED AND POSITIONED TO NOT INTERFERE WITH THE PLACEMENT INSTALLATION OF THE PROPOSED PILES AS SHOWN IN THESE PROJECT DOCUMENTS

| Revisions | |
|-----------|----|
| Revision | By |
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Job Title:
**BUILDING RENOVATIONS/ADDITION FOR:
 MOXY HOTEL BY MARRIOTT**
 1200/1202 MAIN STREET
 COLUMBIA, SOUTH CAROLINA



Drawing Title:
LEVEL 12 BAR ROOF FRAMING PLAN

Scale: AS NOTED

Job Number: 21-203

Designed By: KWT

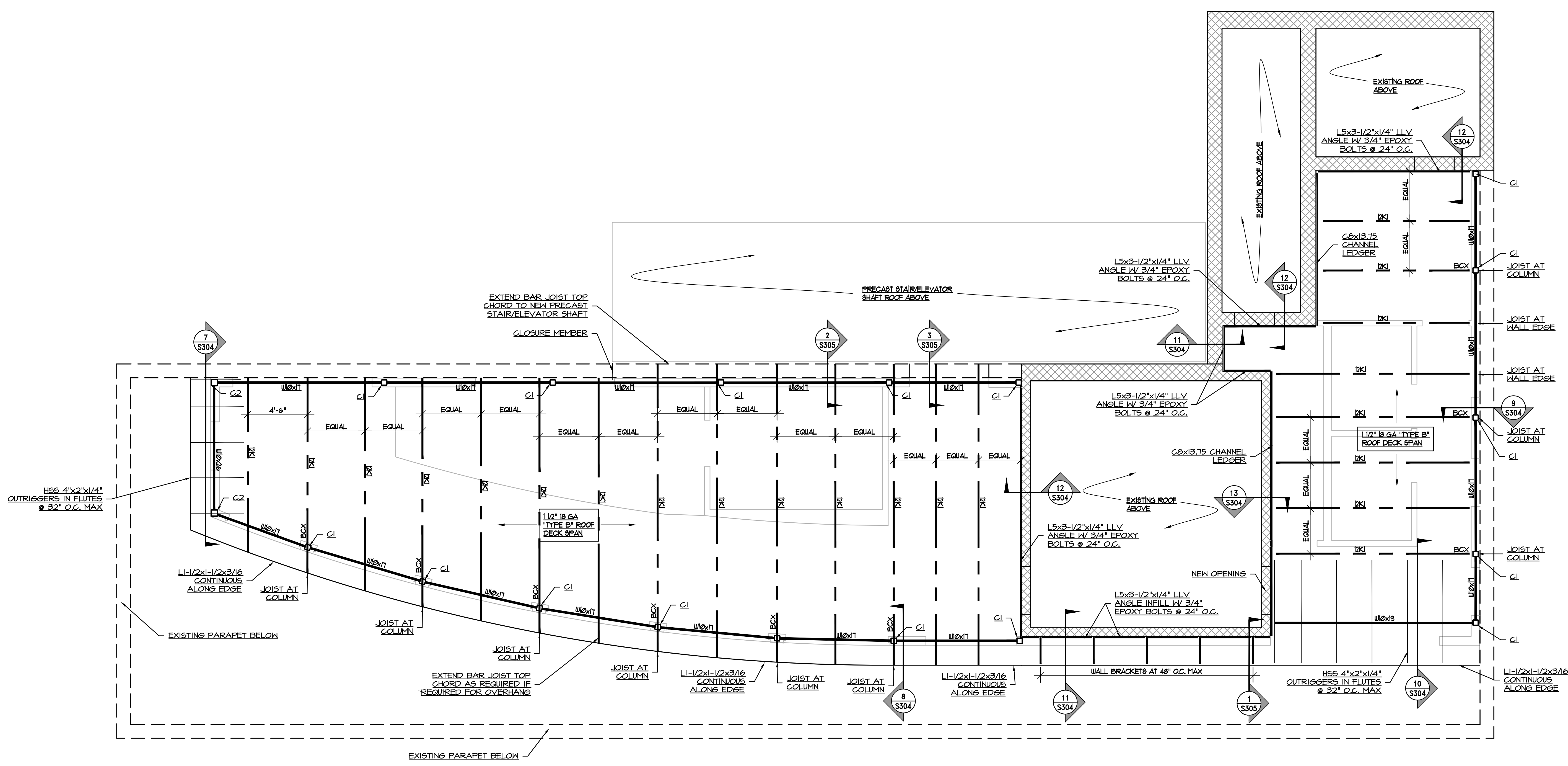
Drawn By: CPD

Checked By: KWT

Date: 8/31/2022

Sheet Number
S302
 Sheet 11 of 16

FOR PERMIT 8/31/2022



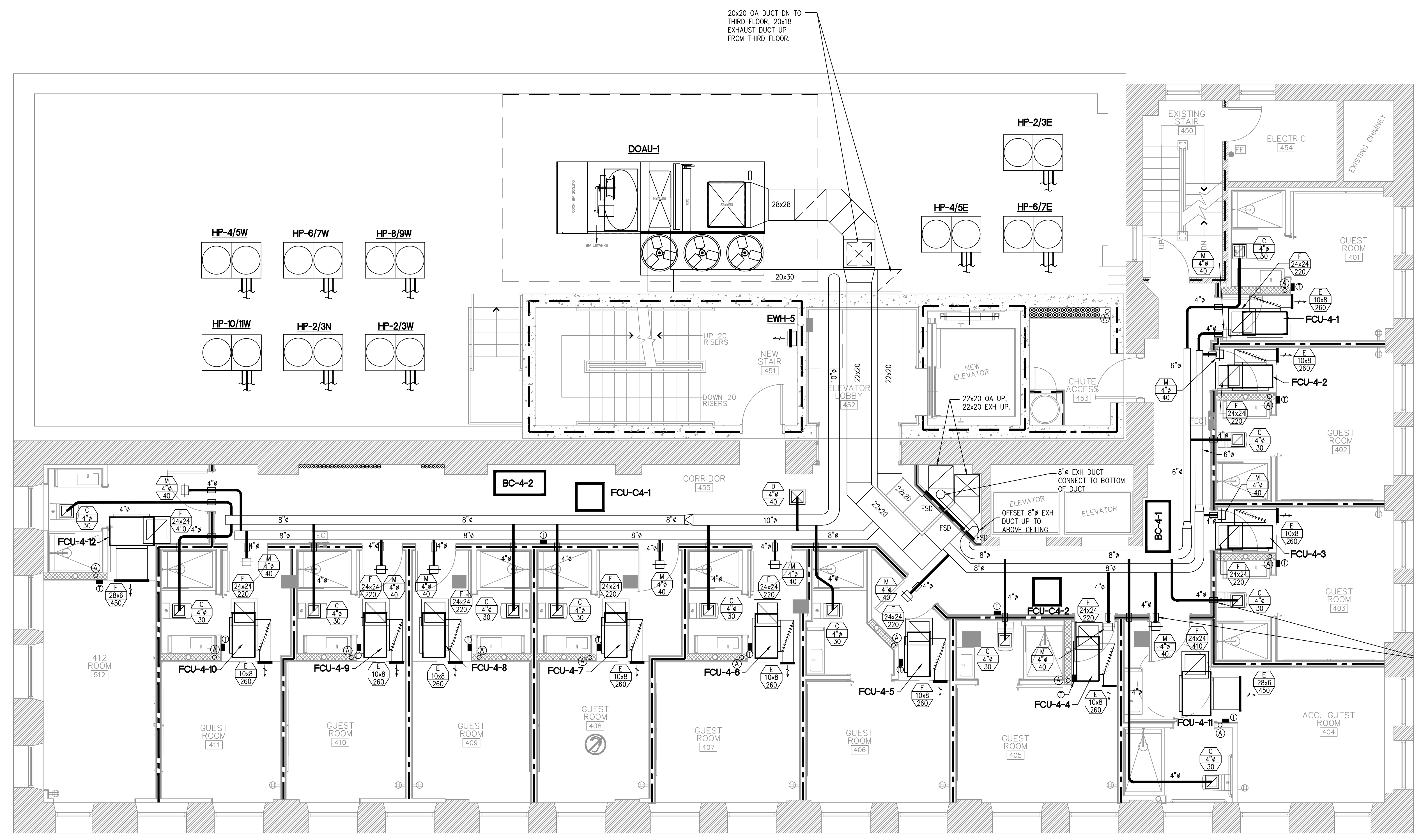
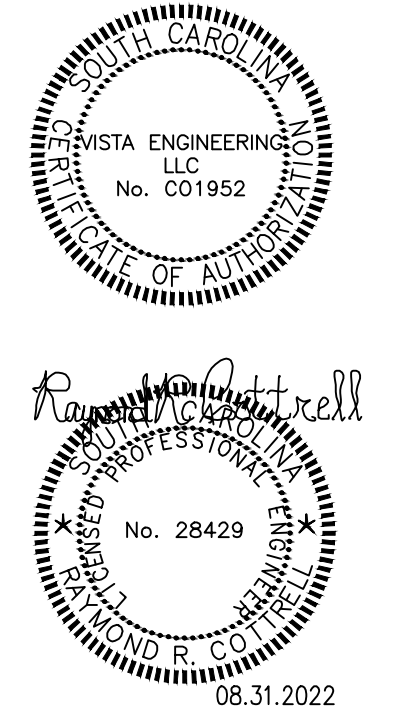
LEVEL 12 BAR ROOF FRAMING PLAN
 SCALE 1/4" = 1' - 0"

COLUMN C1: HSS 5x5x1/4"
 COLUMN C2: HSS 6x6x3/8"

ALL STEEL SHALL
 BE GALVANIZED

FIELD VERIFY/DETERMINE ALL DIMENSIONS. THE DRAWINGS SHOWN HERE ARE BASED ON OUR FIELD MEASUREMENTS AND DO NOT MATCH EXACTLY WITH THE ARCHITECTURAL LAYOUT. CONTRACTOR TO PAY ATTENTION TO MAINTAIN ALL DIMENSIONS AND CLEARANCES REQUIRED BY THE ARCHITECT.

| No. | Revision | Date |
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RENOVATED HVAC PLAN - FOURTH FLOOR
 BUILDING SCALE: 1/4" = 1'-0"

SIZE AND INSTALL REFRIGERANT PIPING PER UNIT MANUFACTURER'S SPECIFICATIONS. PROVIDE HANGERS, VIBRATION CLAMPS, BRACING, ETC. AS REQUIRED. CONNECT TO CORRESPONDING FCU.

CONDENSATE NOTE:
 PROVIDE CONDENSATE LINES FROM FAN COIL UNITS TO INDIRECT WASTE AT CONDENSATE RISER. COORDINATE WITH PLMB. CONTR.

- SHEET WORK NOTES**
- Ⓐ 1-1/4" CONDENSATE DRAIN FROM ABOVE, 1-1/4" CONDENSATE DRAIN DN TO FLOOR BELOW.
 - Ⓑ 1-1/4" CONDENSATE DN.

NOTE:
 SPACE ABOVE DROPPED CEILING IN GUEST ROOM ENTRY WAYS ARE RATED AS A RETURN AIR PLENUM.

PROVIDE SLEEVE ON EACH AIR DUCT PENETRATION THROUGH 1 HR CORRIDOR WALL, WHERE DUCT SIZE IS LESS THAN 100 SQUARE INCHES, TYPICAL. SEE DETAIL.

Craig A. Otto
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 Lexington, South Carolina 29072
 Phone (803) 857-9004
 craig@ottoarchitect.com

MOXY by MARRIOTT
 RENOVATIONS TO 1200 / 1202 MAIN STREET
 CIRCULA 915
 COLUMBIA, SOUTH CAROLINA

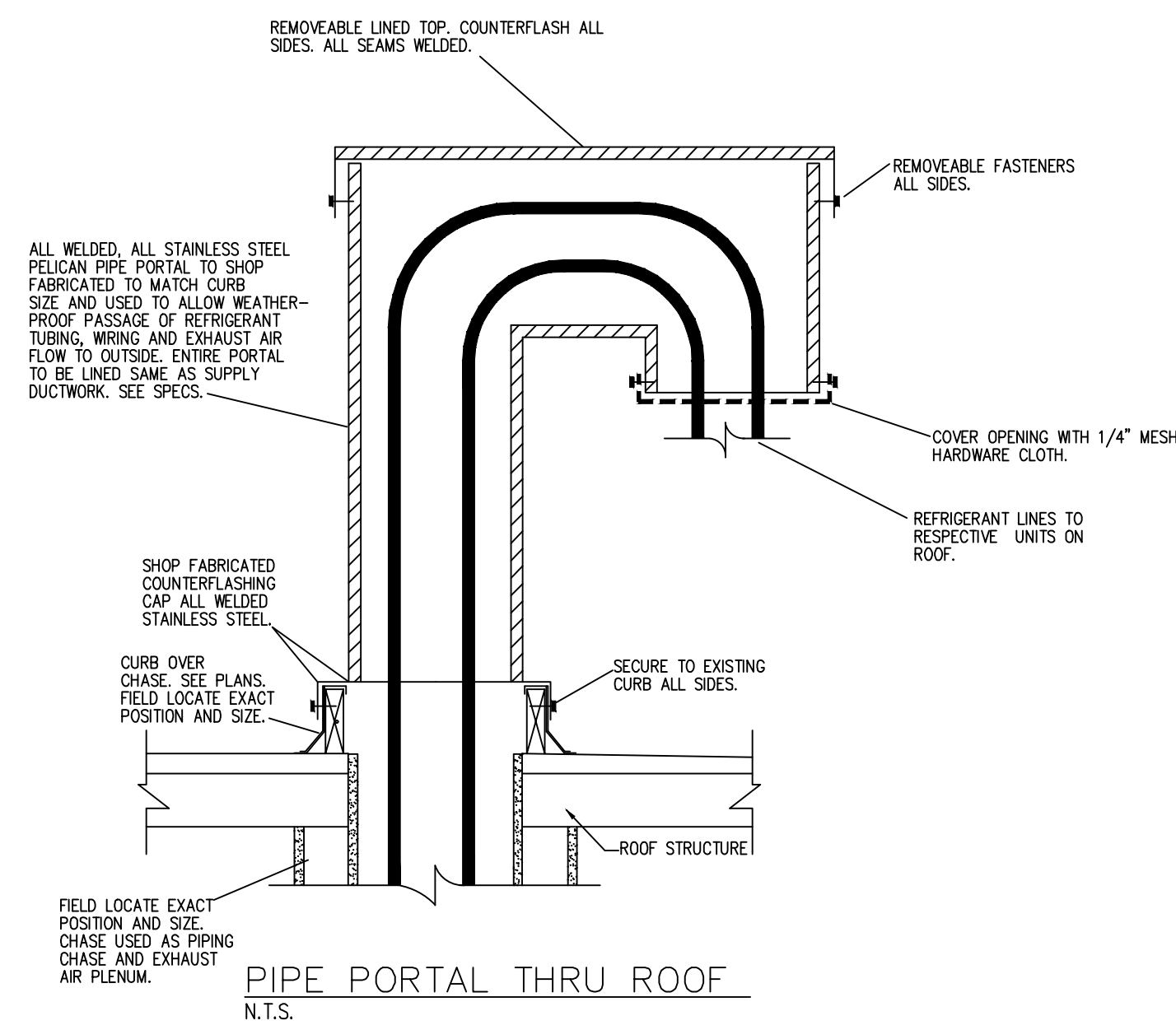
Drawing Title
 RENOVATED HVAC PLAN - FOURTH FLOOR
Consultant
 VISTA ENGINEERING, LLC

Drawn By
 COTTRELL

Date
 AUGUST 31, 2022

Drawing No.
M1.4

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13



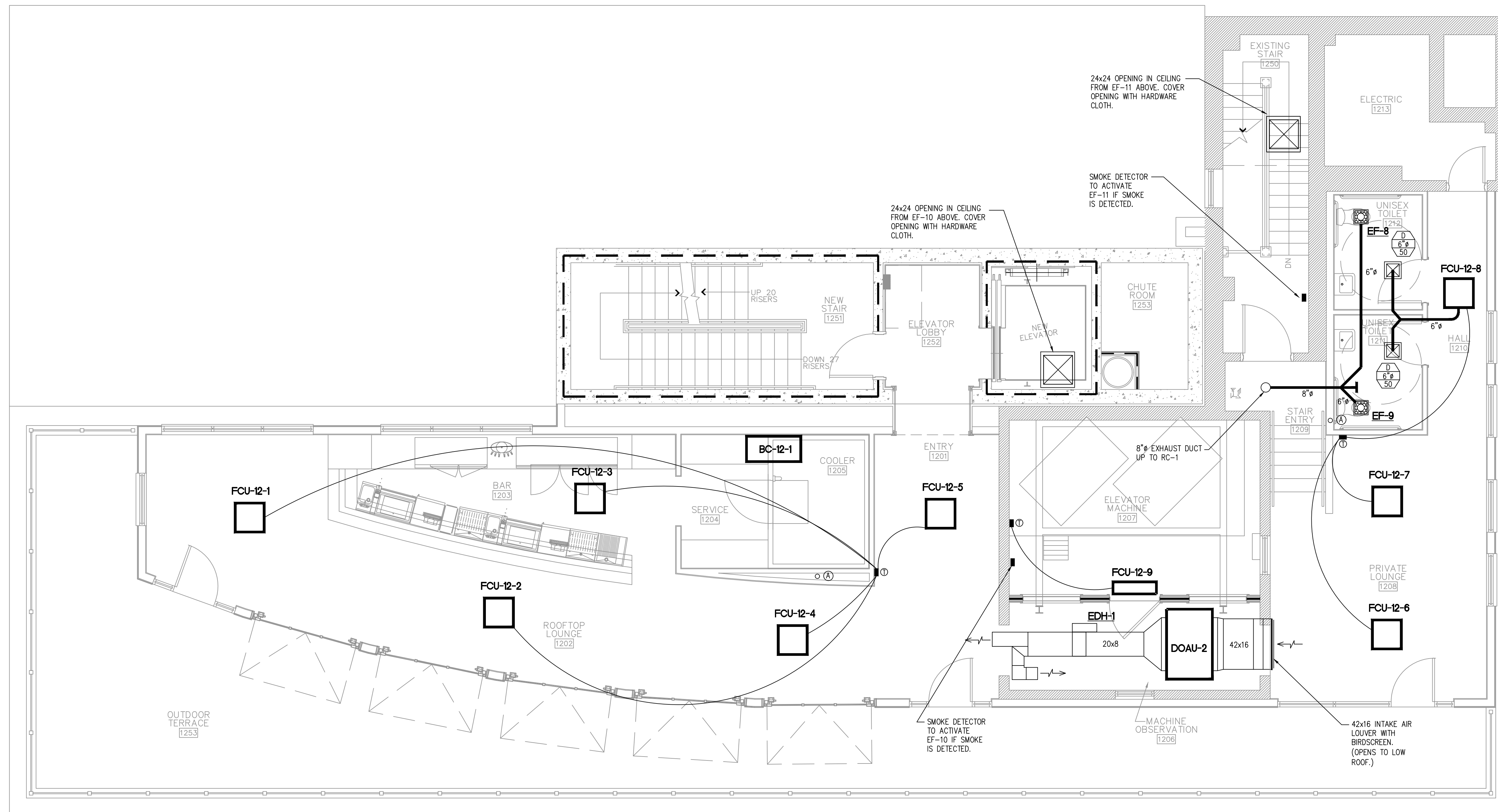
SMOKE FAN CONTROL SEQUENCE:

SMOKE STAIRWELL PRESSURIZATION FANS EF-# AND EF-# SHALL BE PROVIDED WITH EDM MOTORS CAPABLE OF VARYING THE AIR FLOW AS REQUIRED TO MAINTAIN STAIRWELL INTERNAL PRESSURE OF NO MORE THAN 0.20" WATER COLUMN UNDER ALL CONDITIONS INCLUDING ALL DOORS SHUT AND ALL DOORS OPEN. A PRESSURE SENSOR LOCATED APPROXIMATELY HALF WAY DOWN ON 6TH FLOOR SHALL CONTROL SPEED OF EDM MOTOR TO MAINTAIN THIS PRESSURE IF SMOKE IS DETECTED AND FAN IS COMMANDED TO START. WITHOUT SIGNAL FROM SMOKE DETECTORS, FAN SHALL REMAIN OFF. SEE SHEET M1.17 FOR PRESSURE SENSOR LOCATIONS. SMOKE DETECTORS ARE LOCATED IN STAIR WELLS AT 2ND, 6TH AND 10TH FLOORS. IF ANY ONE OF THESE SMOKE DETECTORS SENSES SMOKE, THEY SHALL SIGNAL THEIR RESPECTIVE SMOKE PRESSURIZATION FAN TO START AND OPERATE AT SPEED REQUIRED BY IT PRESSURE SENSOR. COORDINATE WITH FIRE PROTECTION CONTRACTOR.

ELEVATOR PRESSURIZATION FAN EF-#

ELEVATOR SHAFT PRESSURIZATION FANS EF-9 SHALL BE PROVIDED WITH EDM MOTORS CAPABLE OF VARYING THE AIR FLOW AS REQUIRED TO MAINTAIN SHAFT INTERNAL PRESSURE BETWEEN 0.10" AND 0.25" WATER COLUMN UNDER ALL CONDITIONS INCLUDING ALL DOORS SHUT FLOOR OF RECALL DOORS OPEN. A PRESSURE SENSOR LOCATED APPROXIMATELY HALF WAY DOWN ON 6TH FLOOR SHALL CONTROL SPEED OF EDM MOTOR TO MAINTAIN THIS PRESSURE RANGE IF SMOKE IS DETECTED AND FAN IS COMMANDED TO START. WITHOUT SIGNAL FROM SMOKE DETECTOR SYSTEM OR FIRE ALARM SYSTEM EF-9 SHALL REMAIN OFF. SEE SHEET M1.4 FOR PRESSURE SENSOR LOCATION. EF-9 SHALL BE ENERGIZED AND BEGIN OPERATION AS SOON AS SMOKE OR FIRE DETECTORS SENSES SMOKE OR FIRE. THEY SHALL SIGNAL THEIR RESPECTIVE SMOKE PRESSURIZATION FAN TO START AND OPERATE AT SPEED REQUIRED BY IT PRESSURE SENSOR. COORDINATE WITH SMOKE AND FIRE PROTECTION CONTRACTOR.

SYSTEM SHALL COMPLY WITH 2015 IBC 909.17 AS WELL AS SECTION 909.21 IN ITS ENTIRETY. FAN SHALL BE CONNECTED TO STAND BY EMERGENCY POWER. EITHER BUILDING FIRE ALARM SYSTEM OR ELEVATOR LOBBY SMOKE DETECTORS. PROVIDE TESTING, IDENTIFICATION, CONTROL DIAGRAMS, CONTROL PANEL, SYSTEM RESPONSE TIME REPORT AND ALL OTHER REQUIREMENTS OF THE 2015 IBC.



SIZE AND INSTALL REFRIGERANT PIPING PER UNIT MANUFACTURER'S SPECIFICATIONS. PROVIDE HANGERS, VIBRATION CLAMPS, BRACING, ETC. AS REQUIRED. CONNECT TO CORRESPONDING FCU.

CONDENSATE NOTE:
 PROVIDE CONDENSATE LINES FROM FAN COIL UNITS TO INDIRECT WASTE AT CONDENSATE RISER. COORDINATE WITH PLMB. CONTR.

SHEET WORK NOTES
 ① 1-1/4" CONDENSATE DRAIN FROM ABOVE. 1-1/4" CONDENSATE DRAIN DN TO FLOOR BELOW.
 ② 1-1/4" CONDENSATE DN.

RENOVATED HVAC PLAN - TWELFTH FLOOR
 BUILDING SCALE: 1/4" = 1'-0"

FIRE SPRINKLER NOTE:
 THIS BUILDING SHALL CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT PER IBC 903.3.1.1 AND NFPA 13

| No. | Revision | Date |
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Professional Engineer Seal for Vista Engineering, LLC, No. CO1952, State of Colorado. Professional Engineer Seal for Craig A. Otto, Architect, No. 28429, State of Colorado. Date: 08.31.2022.

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MOXY by MARRIOTT
 RENOVATIONS TO 1200 / 1202 MAIN STREET
 COLUMBIA, SOUTH CAROLINA

VISTA ENGINEERING, LLC
 CONSULTANT
 Drawing Title: RENOVATED HVAC PLAN - TWELFTH FLOOR
 Drawn By: COTTRELL
 Date: AUGUST 31, 2022
 Drawing No. **M1.12**

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