



01/20/2024





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D/DRC Case

2601 Cherry Street, TMS# 11413-03-13

Old Shandon/Lower Waverly Historic District Area A

-  Preservation District
-  Individual Landmark
-  Design District
-  Community Character District



DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC/CONSENT AGENDA
EVALUATION SHEET
Case #5

CASE NUMBER: DDRC-2024-0030

ADDRESS: 2601 Cherry Street

APPLICANT: Long Pointe Investments

TAX MAP REFERENCE: 11413-03-13

USE OF PROPERTY: Residential, townhouses

REVIEW DISTRICT: Old Shandon/Lower Waverly Historic District, OV-HP

NATURE OF REQUEST: Request for Certificate of Design Approval for construction of eight townhouses.

FINDINGS/COMMENTS:

The current proposal is for construction of eight townhouses in the Old Shandon/Lower Waverly Protection Area. The townhouses will be arranged in two groups of 4 units with a driveway between them. There will be a 6ft wooden fence around the perimeter of most of the property, extending from the sides of the end units and stretching across the rear of the lot, limiting the view of several sections of the buildings from the public right of way. This evaluation will focus on the front elevation and portions of the second floor that will be visible above the fence.

Each townhouse structure will be three bays wide with a two story projecting bay on the end units and a one story porch taking up half of each façade. There will be a center hyphen connecting the two halves of each building. It will be two stories tall and setback from the primary façade. The front porch will be the entry of one unit, while the second unit of each building will be entered through a side door covered by a small porch. All windows will be 2:2 throughout. The main roofs will be hipped with a gable front portion on the outermost bay of each unit. The front porch will have a shed roof and the side porches will have gable roofs.

PERTINENT SECTIONS FROM THE GUIDELINES:

SECTION 3: NEW CONSTRUCTION

A. PRINCIPLES

Within the Old Shandon/Lower Waverly district, there are numerous vacant lots and non-contributing structures. The construction of new or replacement structures on these lots will greatly affect the district by either reinforcing or undermining existing historic patterns. New construction should be consistent with existing buildings along a street in terms of height, scale, proportion and rhythm of openings, setbacks, orientation and spacing. However, new buildings need not imitate past architectural styles; they may reflect the era of their own construction to carry on the tradition of diversity in building styles present.

1. **Height:** *Construct new buildings to a height that is compatible with the height of surrounding buildings. New construction shall not vary greatly in height from older buildings in the vicinity.*
This will be a two story structure on a slightly raised foundation. This is typical for the area, as there are one and a half and two story buildings on the surrounding blocks.
2. **Size and Scale:** *The size and scale of a new building shall be visually compatible with surrounding buildings. Do not construct buildings that disrupt the existing scale of the area.*
The size and scale of these houses is in keeping with others in the neighborhood. There are no other houses on the north side of the 2600 block of Cherry St, the only buildings that are currently on the block are commercial structures facing Millwood Ave. Looking to surrounding blocks there are multiple two story houses along Woodrow Street and a newly built two story house on the 1000 block of King Street, providing context for the scale of the area.
3. **Massing:** *Arrange the mass of a new building (the relationship of solid components (ex. walls, columns, etc.) to open spaces (ex. windows, doors, arches)) so that it is compatible with existing historic buildings on the block or street. Breaking up uninteresting boxlike forms into smaller, varied masses is essential to maintaining the character of the streetscape. Do not construct single, monolithic forms that are not relieved by variations in massing.*
The arrangement of walls, doors and windows appropriately breaks up the massing of these townhouses so that they do not appear to be too boxy or monolithic. The porch on the front and the porch entries on the sides, along with the varied depth of the facades and roof types do this well while remaining balanced. Additional window

casings will be added to all windows to continue to add variety to the façades. This is in keeping with the guidelines.

4. **Directional Expression:** *Site the entrance of the building so that it is compatible with surrounding buildings. Horizontal buildings can be made to relate to more vertical adjacent structures by breaking the façade into smaller masses that conform to the primary expression of the streetscape. Do not construct strongly horizontal or vertical façade expressions.*

This design features porches as the primary entrances, with a half-width front porch and smaller side porches, both of which break up the massing. Each building will be rectangular with the long side facing the street. This is in keeping with the patterns on the district and is in keeping with the guidelines.

5. **Setback:** *Locate the new building on the site so that the distance of the structure from the right of way is similar to adjacent structures. Do not violate the existing setback pattern by placing buildings in front of or behind existing façade lines.*

The buildings will have a 12.7ft setback from the property line. There will be sidewalks installed in the public right of way in front of the property. This will create a setback that is in keeping with neighborhood.

6. **Sense of Entry:** *Place the main entrance and the associated architectural elements (porches, steps, etc.) so that they are compatible to surrounding structures. The main entrance shall be constructed with covered porches, porticos or other architectural forms that are found on historic structures on the block or street. Do not construct facades with no strong sense of entry.*

The porches will be the primary entrance for each unit. For the front facing entrances there will be a half-width porch across the façade. The side entrances will have a small covered stoop with a clear sidewalk and set of stairs leading to it. Both of these create a strong sense of entry that is in keeping with the district.

7. **Rhythm of Openings:** *Construct new buildings so that the relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door & window openings) is visually compatible with historic buildings on the block or street. Maintain a similar ratio of height to width in the bays of the façade. Do not introduce incompatible façade patterns that upset the rhythm of openings established in surrounding structures.*

The rhythm of openings is consistent with the district, the half-width front porches and covered side porches are typical of the area. The porches will be accessed by 3-4 stairs and be supported by full height, square porch posts.

All windows will be 2:2, there will be double hung windows with a defined casement between them on the front projecting bay. The windows on the front porches will be squared and those in the hyphen will be narrower than those on the front façade. All windows will have a defined casing of 4x1in around them.

Staff are requesting two additional windows on the second story rear façade. The second story will be visible from the surrounding streets and needs to maintain an appropriate rhythm of openings. The proposed windows will be towards the center of the façade, between the windows that are currently in the design. These can be smaller square or diamond shaped as found in the district. This has been illustrated by staff at the end of this evaluation. Adding these windows will ensure the design is in keeping with the guidelines.

8. Roof Shape: *Use roof shapes, pitches, and materials that are visually compatible with those of surrounding buildings. (ex. when a majority of the buildings in an area use a hip or gable roof form, a hip or gable roof should be used). Do not introduce roof shapes or pitches that are not found in the area.*

The main roof will be a long hip roof configuration with a 10 over 12 pitch. There are gable front projecting bays on the outermost bays of each building. The porches have shed roofs. This is in keeping with the guidelines.

8. Outbuildings: *Construct garage and storage buildings so that they reflect the character of the existing house and are compatible in terms of height, scale, and roof shape. Place such buildings away from the primary façade of the building. Do not allow outbuildings to obscure character-defining features of a building.*

Not applicable.

10. Materials, Texture, Details:

Use materials, textures, and architectural features that are visually compatible with those of historic buildings on the block or street.

Windows—the windows are 2:2 which is a pattern appropriate for this style home. Windows may be vinyl or aluminum clad wood windows.

Doors—the proposed front door is shown as a solid panel door with a quarter light, 3 pane window, which is approvable. They may be wood, vinyl, or other visually compatible materials.

Siding—Hardie plank is planned for the siding, which is an approvable material. The applicant will install all horizontal siding, as seen in perspective renderings.

Foundation—the foundation will be brick clad which is found historically on foundations in this area.

Fencing- the fencing surrounding the property will be no more than 6ft tall and constructed with vertically laid wood slats.

Porch- the porches will feature full height square posts. Porch railings will be square with square rails. The posts can be made with wood or Hardie plank composite materials. The railings and rails may be metal or wood composite.

Regarding material choices for soffits, trim, and flooring, these all must be visually compatible with what is found on historic homes in the district and can be approved by staff.

STAFF RECOMMENDATIONS:

Staff finds that proposed new construction at 2601 Cherry Street generally complies with Section 3 of the Old Shandon/Lower Waverly Protection Area Historic Preservation Guidelines and recommends granting a certificate of Design Approval with the following conditions:

- All windows will have a casing of 1x4 boards.
- Two windows will be added to the rear second floor center façade. Details to be worked out with staff.
- All material choices for outstanding items be deferred to staff to work out with the applicant;
- All other details deferred to staff.



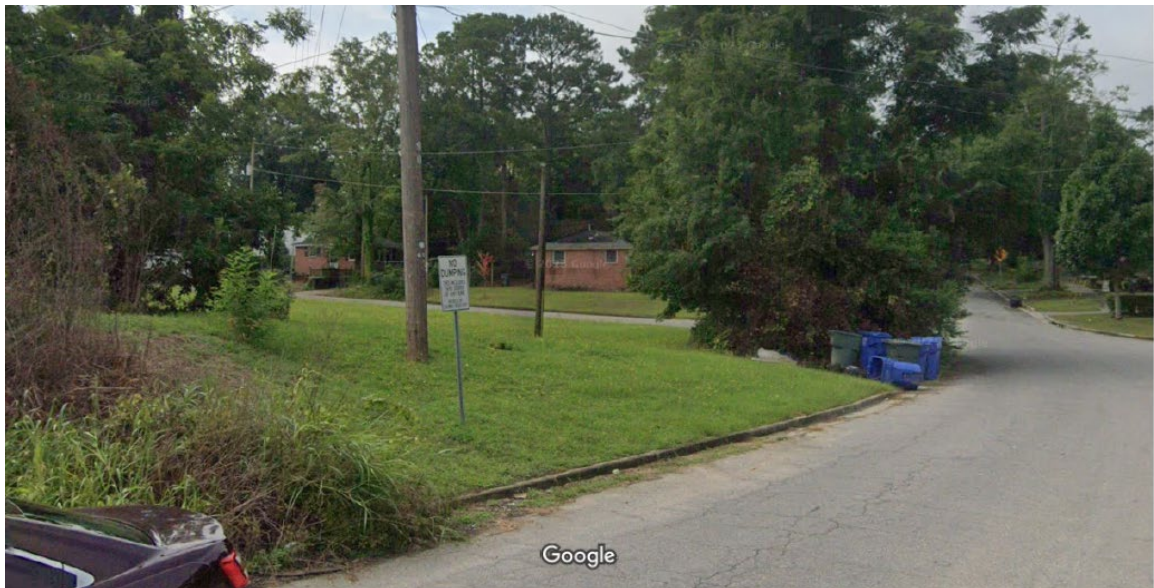
Current lot at 2601 Cherry Street. There are no other buildings on this side of the 2600 Block of Cherry St. Image courtesy of Google Maps.



2601 Cherry St, from the corner of Cherry and King Streets. Image courtesy of Google Maps.



View up Cherry Street towards Woodrow Street. There are several two story houses of a similar scale on Woodrow Street. Image courtesy of Google Maps.



Looking into the lot at 2601 Cherry Street, from King Street. The second story of the back of the houses will be visible from here. Image courtesy of Google Maps.



View of the back of 2601 Cherry St. from Millwood Avenue, showing that the rear portion of the development will be visible.

Image courtesy of Google Maps.



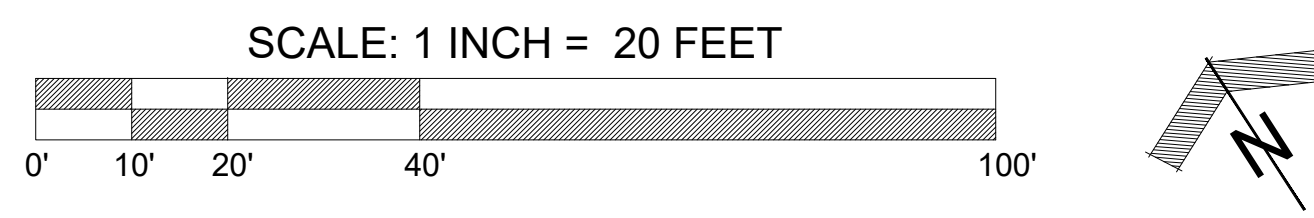
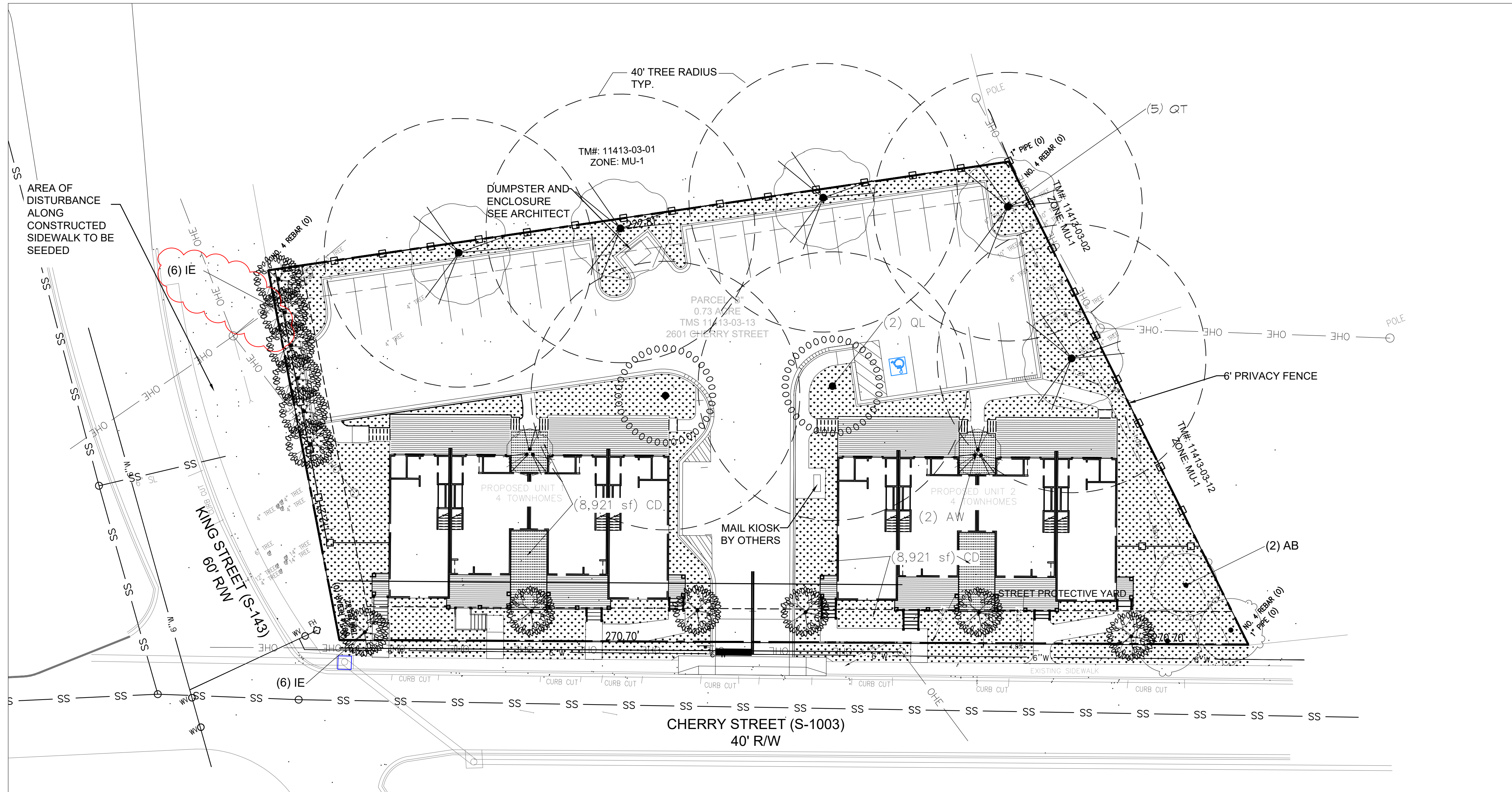
REAR ELEVATION
1/4" = 1'-0"

The rendering on the right shows the final window placement as submitted, with the suggested addition of two additional windows. Staff presented both a square and a diamond shape. Either would be acceptable, but they must be the same on all units. This would improve the rhythm of openings on this elevation. The first floor will not be visible from the public right of way due to the fencing around the property.

THE FOLLOWING INFORMATION WAS
SUBMITTED BY THE APPLICANT

PLANT SCHEDULE

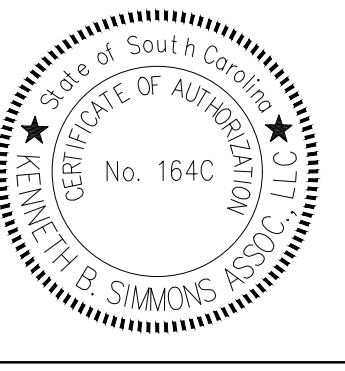
CODE	BOTANICAL / COMMON NAME	CAL	SIZE	QTY	REMARKS
TREES					
AB	ACER BUERGERIANUM / TRIDENT MAPLE	3"	10'-12" HT	3	BRANCHED 7' TO 8'
AW	ACER PALMATUM 'WOLFF' / EMPEROR® JAPANESE MAPLE	-	3'-3.5' HT	2	5 OR MORE BRANCHES
IE	ILEX X ATTENUATA 'EAGLESTON' / EAGLESTON HOLLY	2"	10'-12" HT	12	BRANCHED 7' TO 8'
QL	QUERCUS LYRATA / OVERCUP OAK	2"	10'-12" HT	2	BRANCHED 7' TO 8'
QT	QUERCUS TEXANA / NUTTALL OAK	2" CAL.	12'-14" HT.	5	BRANCHED 7' TO 8'
	BOTANICAL / COMMON NAME	CONT	SPACING	QTY	REMARKS
GROUND COVERS					
	CYNODON DACTYLON / BERMUDAGRASS	-		9,797 SF	HYDROSEED



PLANTING NOTES

1. THE DRAWING IS BASED ON A SITE PLAN PROVIDED BY CROSS ENGINEERING SERVICES.
2. QUANTITIES ARE SHOWN FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR HIS OR HER OWN QUANTITIES. IF THERE IS A CONFLICT BETWEEN QUANTITIES AND SPACING, SPACING SHALL PREVAIL.
3. ALL NEW TREES, SHRUBS, LAWN, AND GROUND COVER SHALL BE MECHANICALLY IRRIGATED.
4. ALL TREES AND SHRUBS SHALL BE MULCHED WITHIN TWO DAYS AFTER PLANTING. MULCH SHALL COVER THE AREA OF THE PLANTING PIT, BED, OR SAUCER AROUND EACH PLANT.
5. ANY AREA DISTURBED DURING CONSTRUCTION NOT COVERED BY NEW CONSTRUCTION, SODDING, AND OR PLANT BEDS SHALL BE PLACED IN SOD, AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
6. ALL PLANTS SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION. PLANT SIZE (HEIGHT/SPREAD/CALIPER) TAKES PRECEDENCE OVER CONTAINER SIZE AS THE MOST DESCRIPTIVE SPECIFICATION.
7. THE TERM "TYPICAL" (TYP.) WHEN ASSOCIATED WITH A DIMENSION OR FEATURE, MEANS THAT THIS DIMENSION OR FEATURE APPLIES TO THE LOCATIONS THAT APPEAR TO BE IDENTICAL IN SIZE AND CONFIGURATION.

LANDSCAPE REQUIREMENTS (City of Columbia)		
TRANSITIONAL BUFFER YARDS (per city code section 17-5.3(d))		
Buffer Type	Required	Provided
N/A	N/A	N/A
STREET PROTECTIVE YARDS (per city code section 17-5.3(e))		
King St - 112 L.F. / Cherry Street - 246 L.F. (382 Total)	Required	Provided
Canopy Trees	1 large tree per 40 LF or 1 small tree per 20-30 LF (Utility)	King St. - 4 Required Small Trees Cherry St. - 6 Required Small Trees, 2 Required Large Trees
Shrubs/Groundcover/Turf	60% of area	✓
Buffer	10' bed width	✓
Interior planting for V.S.A. Interior (per city code section 17-5.3(f)(4))		
Area	Required	Provided
Tree	1 tree within 40' from each parking space	✓
Tree	Cumatively 1 tree per 3,200sqf	7 Trees adjacent to parking
Shrubs/Groundcover/Turf	275 sqf per planting area min. 60% of area shall have living plantings	✓
Site Landscaping (per city code section 17-5.3(g))		
Planting Use Type (Commercial)	Required	Provided
Tree	Townhouses Exempt	✓
Shrubs/Groundcover/Turf	Townhouses Exempt	✓
Site Tree Density (per city code section 17-5.3(h))		
Area	Required	Provided
Trees	Min. of 30 units per acre	22 units for 0.73 acre lot
Screening (per city code section 17-5.3(i))		
Area	Required	Provided
Dumpster Screening	Dumpster enclosure or evergreen	Dumpster Enclosure
Tree Planting Area & Tree Protection (per city code section 17-5.4)		
Area	Required	Provided
Tree Protection	for any grand tree, tree used for requirements, tree in good condition over 6" in diameter 1.5' above ground	✓



ALL RIGHTS RESERVED. THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF KENNETH B. SIMMONS ASSOCIATES. THE REPRODUCTION, COPYING, OR USE OF THIS DRAWING OR THE DESIGN THEREON, OR ANY PART THEREOF, WITHOUT THE WRITTEN CONSENT OF KENNETH B. SIMMONS ASSOCIATES IS PROHIBITED AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

NO.	COMMENT	DATE
1	ISSUED FOR PERMITS	07/11/2024
2	ISSUED FOR PERMITS	07/11/2024

DATE	05/22/2024
PROJ. NO.	2458A
SCALE	1" = 10' (sheet: 24x36)
	1" = 20' (sheet: 12x18)
DRAWN	AJL
CHECKED	AMC
REV.	06/19/2024, 07/11/2024

LANDSCAPE PLAN
CHERRY STREET TOWNHOMES
 2601 CHERRY STREET
 COLUMBIA, SC

SHEET NO.
LS1
 OF 01

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO DRAFTSMAN BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DISCREPANCY THAT IS NOT REPORTED.
- PLUMBING FIXTURE LOCATIONS ARE NOT TO BE SCALED OFF DRAWINGS. LOCATIONS SHOWN ARE APPROXIMATE. PLUMBING CONTRACTOR IS TO VERIFY ACTUAL WALL THICKNESSES AND FINISH MATERIALS TO ENSURE ADEQUATE SPACE IS PROVIDED FOR THE PLUMBING FIXTURES THAT HAVE BEEN SELECTED.
- ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL OF SUITABLE BEARING CAPACITY. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.
- ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARING CONDITIONS, FROST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND INSURE A QUALITY AND SAFE STRUCTURE.
- ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF GOOD QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
- ALL COLLUMNS OR SOLID FRAMING DESIGNED TO CARRY LOADS SHOULD EXTEND DOWN THROUGH THE LEVELS BELOW AND TERMINATE AT BEARING POINTS DESIGNED TO CARRY THE LOAD.
- BUILDING SHALL BE INSULATED AS FOLLOWS: R-30 CEILING, R-13 WALLS, R-19 FLOOR JOISTS.

No.	Description	Date

**CHERRY STREET
TOWNHOMES**

**NEW CONSTRUCTION
FIRST FLOOR PLAN**

Project Number **22049**
Date **07.12.2024**
Drawn By **DS**
Checked By **HM**

A1.01

Scale **1/4" = 1'-0"**

DOOR SCHEDULE			
NO.	WIDTH	HEIGHT	COMMENTS
A100	3'-0"	6'-8"	STORAGE LOCK SET
A101A	3'-0"	6'-8"	EXTERIOR ENTRY LOCK SET
A101B	3'-0"	6'-8"	EXTERIOR ENTRY LOCK SET
A102	2'-0"	6'-8"	PRIVACY LOCK SET
A103	5'-0"	6'-8"	PASSAGE LOCK SET
B100	3'-0"	6'-8"	STORAGE LOCK SET
B101A	3'-0"	6'-8"	EXTERIOR ENTRY LOCK SET
B101B	3'-0"	6'-8"	EXTERIOR ENTRY LOCK SET
B102	2'-0"	6'-8"	PRIVACY LOCK SET
C100	3'-0"	6'-8"	STORAGE LOCK SET
C101A	3'-0"	6'-8"	EXTERIOR ENTRY LOCK SET
C101B	3'-0"	6'-8"	EXTERIOR ENTRY LOCK SET
C102	2'-0"	6'-8"	PRIVACY LOCK SET
D100	3'-0"	6'-8"	STORAGE LOCK SET
D101A	3'-0"	6'-8"	EXTERIOR ENTRY LOCK SET
D101B	3'-0"	6'-8"	EXTERIOR ENTRY LOCK SET
D102	2'-0"	6'-8"	PRIVACY LOCK SET
D103	5'-0"	6'-8"	PASSAGE LOCK SET

- GENERAL DOOR NOTES:**
- ALL DOORS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - G.C. TO COORDINATE ALL DOOR STYLES AND HARDWARE WITH OWNER PRIOR TO ORDERING.
 - G.C. TO VERIFY ALL DOORS MEET EGRESS SIZING REQUIREMENTS, REF. 2021 IRC SECTION 311.

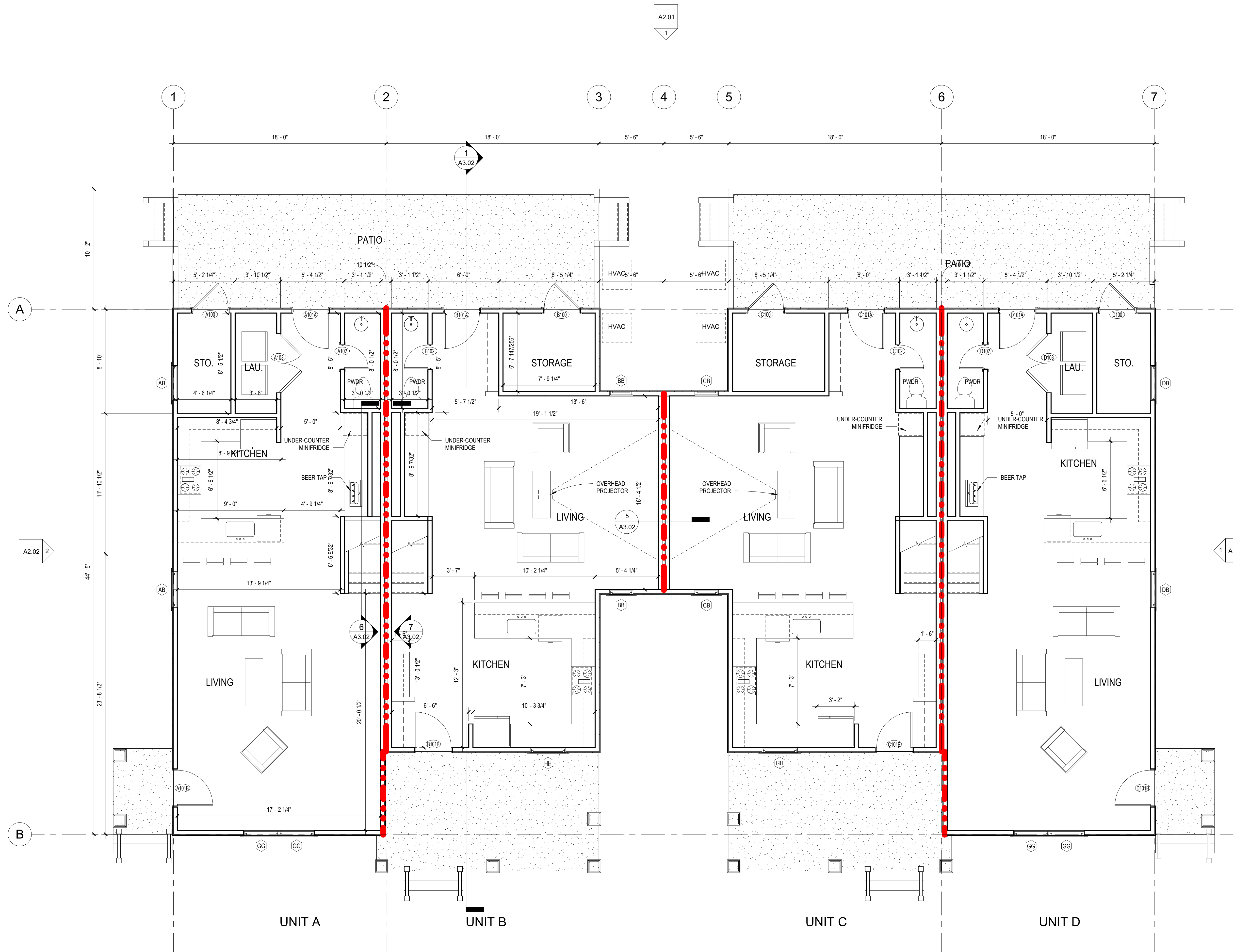
WINDOW SCHEDULE			
MARK	WIDTH	HEIGHT	COMMENTS
AB	3'-0"	5'-0"	
BB	2'-0"	4'-0"	
CB	2'-0"	4'-0"	
DB	3'-0"	5'-0"	
GG	3'-0"	6'-0"	
HH	3'-0"	4'-0"	

- GENERAL WINDOW NOTES:**
- ALL WINDOWS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - G.C. TO COORDINATE ALL WINDOW STYLES AND HARDWARE WITH OWNER PRIOR TO ORDERING.
 - SEE TYPICAL FLASHING DETAILS FOR NEW WINDOW INSTALLATION.
 - G.C. TO VERIFY ALL WINDOWS MEET EGRESS SIZING REQUIREMENTS, REF. 2021 IRC SECTION 311.

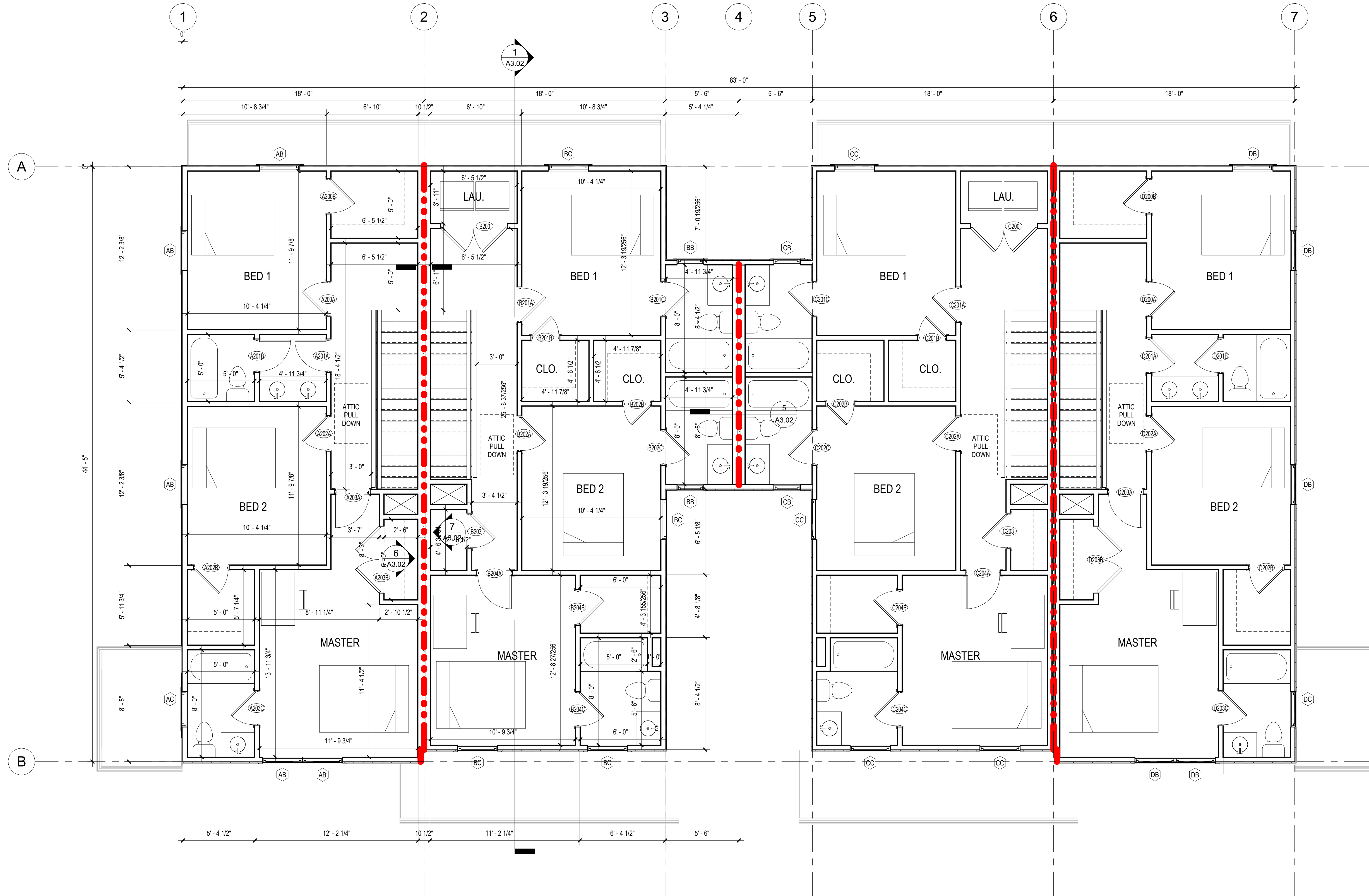
SQUARE FOOTAGES:

UNIT A FIRST FLOOR:	754
UNIT A SECOND FLOOR:	799
UNIT A TOTAL:	1,553
UNIT B FIRST FLOOR:	709
UNIT B SECOND FLOOR:	877
UNIT B TOTAL:	1,586
UNIT C FIRST FLOOR:	709
UNIT C SECOND FLOOR:	877
UNIT C TOTAL:	1,586
UNIT D FIRST FLOOR:	754
UNIT D SECOND FLOOR:	799
UNIT D TOTAL:	1,553
TOTAL HEATED:	6,278
FRONT PORCH (EACH):	184
SIDE PORCH (EACH):	36
BACK PATIO (EACH):	364
EXTERIOR STORAGE (A/D):	45
EXTERIOR STORAGE (B/C):	58

NOTE: SQUARE FOOTAGES ARE CALCULATED TO THE EXTERIOR FACE OF EXTERIOR STUDS AND THE CENTERLINE OF SHARED UNIT WALLS. GC SHALL FIELD VERIFY ALL DIMENSIONS AND SQUARE FOOTAGES PRIOR TO CONSTRUCTION AND MATERIAL ORDERING.



1 FIRST FLOOR PLAN
1/4" = 1'-0"



DOOR SCHEDULE			
NO.	WIDTH	HEIGHT	COMMENTS
A200A	2' - 6"	6' - 8"	PRIVACY LOCK SET
A200B	2' - 6"	6' - 8"	PASSAGE LOCK SET
A201A	2' - 4"	6' - 8"	PRIVACY LOCK SET
A201B	2' - 4"	6' - 8"	PRIVACY LOCK SET
A202A	2' - 6"	6' - 8"	PRIVACY LOCK SET
A202B	2' - 6"	6' - 8"	PASSAGE LOCK SET
A203A	2' - 6"	6' - 8"	PRIVACY LOCK SET
A203B	5' - 0"	6' - 8"	PASSAGE LOCK SET
A203C	2' - 6"	6' - 8"	PRIVACY LOCK SET
B200	5' - 0"	6' - 8"	PASSAGE LOCK SET
B201A	2' - 6"	6' - 8"	PRIVACY LOCK SET
B201B	2' - 0"	6' - 8"	PASSAGE LOCK SET
B201C	2' - 6"	6' - 8"	PRIVACY LOCK SET
B202A	2' - 6"	6' - 8"	PRIVACY LOCK SET
B202B	2' - 0"	6' - 8"	PASSAGE LOCK SET
B202C	2' - 6"	6' - 8"	PRIVACY LOCK SET
B203	2' - 6"	6' - 8"	PASSAGE LOCK SET
B204A	2' - 6"	6' - 8"	PRIVACY LOCK SET
B204B	2' - 6"	6' - 8"	PASSAGE LOCK SET
B204C	2' - 6"	6' - 8"	PRIVACY LOCK SET
C200	5' - 0"	6' - 8"	PASSAGE LOCK SET
C201A	2' - 6"	6' - 8"	PRIVACY LOCK SET
C201B	2' - 0"	6' - 8"	PASSAGE LOCK SET
C201C	2' - 6"	6' - 8"	PRIVACY LOCK SET
C202A	2' - 6"	6' - 8"	PRIVACY LOCK SET
C202B	2' - 0"	6' - 8"	PASSAGE LOCK SET
C202C	2' - 6"	6' - 8"	PRIVACY LOCK SET
C203	2' - 6"	6' - 8"	PASSAGE LOCK SET
C204A	2' - 6"	6' - 8"	PRIVACY LOCK SET
C204B	2' - 6"	6' - 8"	PASSAGE LOCK SET
C204C	2' - 6"	6' - 8"	PRIVACY LOCK SET
D200A	2' - 6"	6' - 8"	PRIVACY LOCK SET
D200B	2' - 6"	6' - 8"	PASSAGE LOCK SET
D201A	2' - 6"	6' - 8"	PRIVACY LOCK SET
D201B	2' - 6"	6' - 8"	PRIVACY LOCK SET
D202A	2' - 6"	6' - 8"	PRIVACY LOCK SET
D202B	2' - 6"	6' - 8"	PASSAGE LOCK SET
D203A	2' - 6"	6' - 8"	PRIVACY LOCK SET
D203B	5' - 0"	6' - 8"	PASSAGE LOCK SET
D203C	2' - 6"	6' - 8"	PRIVACY LOCK SET

- GENERAL DOOR NOTES:**
- ALL DOORS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - G.C. TO COORDINATE ALL DOOR STYLES AND HARDWARE WITH OWNER PRIOR TO ORDERING.
 - G.C. TO VERIFY ALL DOORS MEET EGRESS SIZING REQUIREMENTS, REF. 2021 IRC SECTION 311.

WINDOW SCHEDULE			
MARK	WIDTH	HEIGHT	COMMENTS
AB	3' - 0"	5' - 0"	EGRESS SIZE
AC	2' - 8"	4' - 0"	
BB	2' - 0"	4' - 0"	
BC	3' - 0"	5' - 0"	EGRESS SIZE
CB	2' - 0"	4' - 0"	
CC	3' - 0"	5' - 0"	EGRESS SIZE
DB	3' - 0"	5' - 0"	EGRESS SIZE
DC	2' - 8"	4' - 0"	

- GENERAL WINDOW NOTES:**
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 - SEE TYPICAL FLASHING DETAILS FOR NEW WINDOW INSTALLATION.
 - G.C. TO VERIFY ALL WINDOWS MEET EGRESS SIZING REQUIREMENTS, REF. 2021 IRC SECTION 311.

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 - PLUMBING FIXTURE LOCATIONS ARE NOT TO BE SCALED OFF DRAWINGS. LOCATIONS SHOWN ARE APPROXIMATE. PLUMBING CONTRACTOR IS TO VERIFY ACTUAL WALL THICKNESSES AND FINISH MATERIALS TO ENSURE ADEQUATE SPACE IS PROVIDED FOR THE PLUMBING FIXTURES THAT HAVE BEEN SELECTED.
 - ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL OF SUITABLE BEARING CAPACITY. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.
 - ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARING CONDITIONS, FROST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND INSURE A QUALITY AND SAFE STRUCTURE.
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 - ALL COLLUMNS OR SOLID FRAMING DESIGNED TO CARRY LOADS SHOULD EXTEND DOWN THROUGH THE LEVELS BELOW AND TERMINATE AT BEARING POINTS DESIGNED TO CARRY THE LOAD.
 - BUILDING SHALL BE INSULATED AS FOLLOWS: R-30 CEILING, R-13 WALLS, R-19 FLOOR JOISTS.

No.	Description	Date

CHERRY STREET TOWNHOMES

NEW CONSTRUCTION

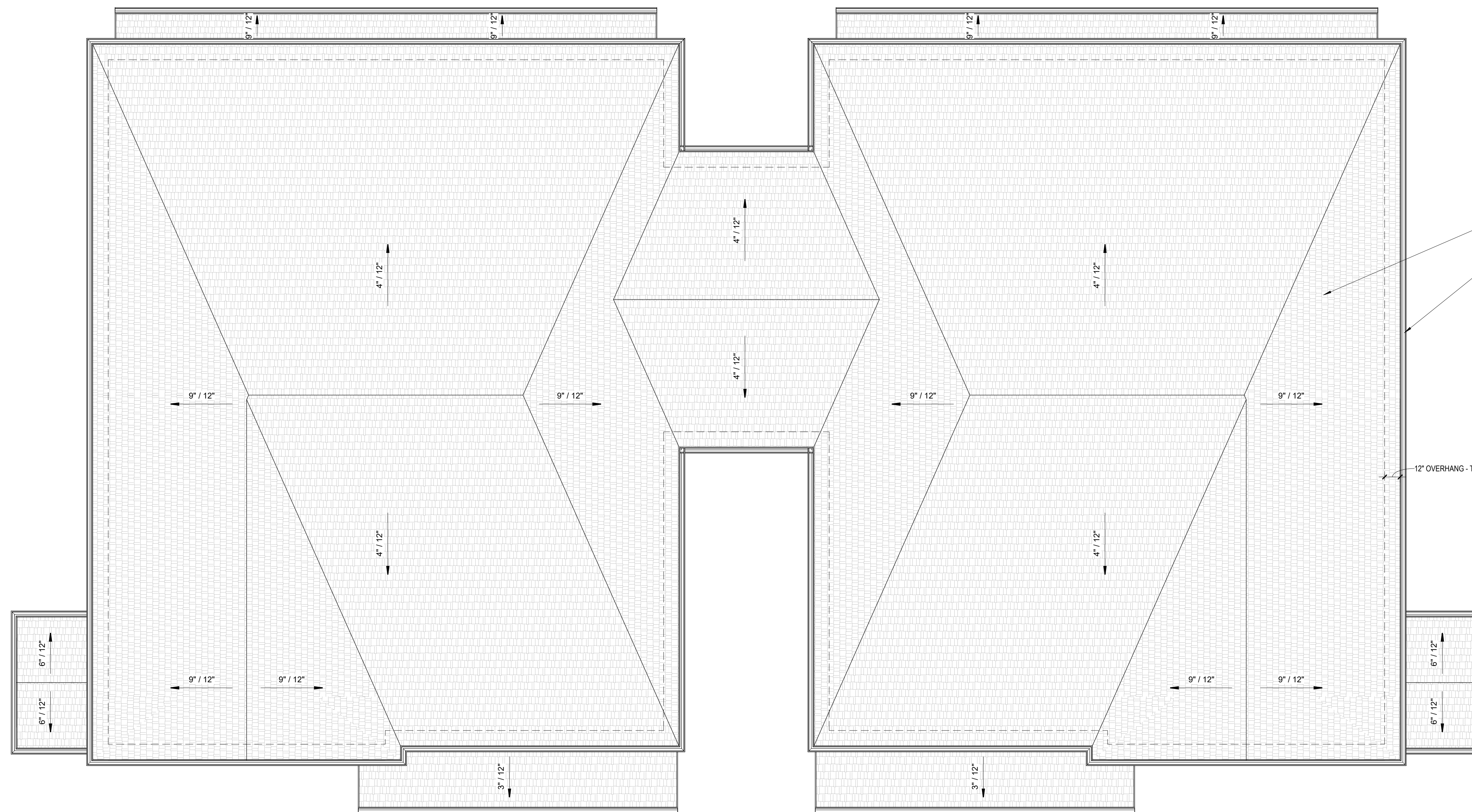
SECOND FLOOR PLANS

Project Number	22049
Date	07.12.2024
Drawn By	DS
Checked By	HM

A1.02

Scale 1/4" = 1'-0"

1 SECOND FLOOR PLAN
1/4" = 1'-0"



- ROOF NOTES:**
1. PROVIDE DOUBLE UNDERLAYMENT AT ALL ROOF AREAS LESS THAN 4/12 SLOPE
 2. LOCATE ALL PLUMBING VENT PENETRATIONS BEHIND ROOF RIDGE ON NON-STREET SIDE
 3. FIELD LOCATE DOWNSPOUTS IN DISCREET LOCATIONS ON BUILDING FACADE AT 40' O.C. MAX.

ARCHITECTURAL SHINGLE ROOF OVER 30# FELT - TYP.

COVER GUTTER - TYP.

12" OVERHANG - TYP.

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND REGULATIONS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO DRAFTSMAN BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DISCREPANCY THAT IS NOT REPORTED.
3. PLUMBING FIXTURE LOCATIONS ARE NOT TO BE SCALED OFF DRAWINGS. LOCATIONS SHOWN ARE APPROXIMATE. PLUMBING CONTRACTOR IS TO VERIFY ACTUAL WALL THICKNESSES AND FINISH MATERIALS TO ENSURE ADEQUATE SPACE IS PROVIDED FOR THE PLUMBING FIXTURES THAT HAVE BEEN SELECTED.
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No.	Description	Date

**CHERRY STREET
TOWNHOMES**

NEW CONSTRUCTION

ROOF PLAN

Project Number	22049
Date	07.12.2024
Drawn By	DS
Checked By	HM

A1.03

Scale	1/4" = 1'-0"
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1 ROOF PLAN
1/4" = 1'-0"



D1 CHERRY STREET ELEVATION
 1/4" = 1'-0"



1 REAR ELEVATION
 1/4" = 1'-0"

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No.	Description	Date

**CHERRY STREET
 TOWNHOMES**

**NEW CONSTRUCTION
 ELEVATIONS**

Project Number	22049
Date	07.12.2024
Drawn By	DS
Checked By	HM

A2.01

Scale	1/4" = 1'-0"
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No.	Description	Date

**CHERRY STREET
TOWNHOMES**

**NEW CONSTRUCTION
ELEVATIONS**

Project Number	22049
Date	07.12.2024
Drawn By	DS
Checked By	HM

A2.02

Scale	As indicated
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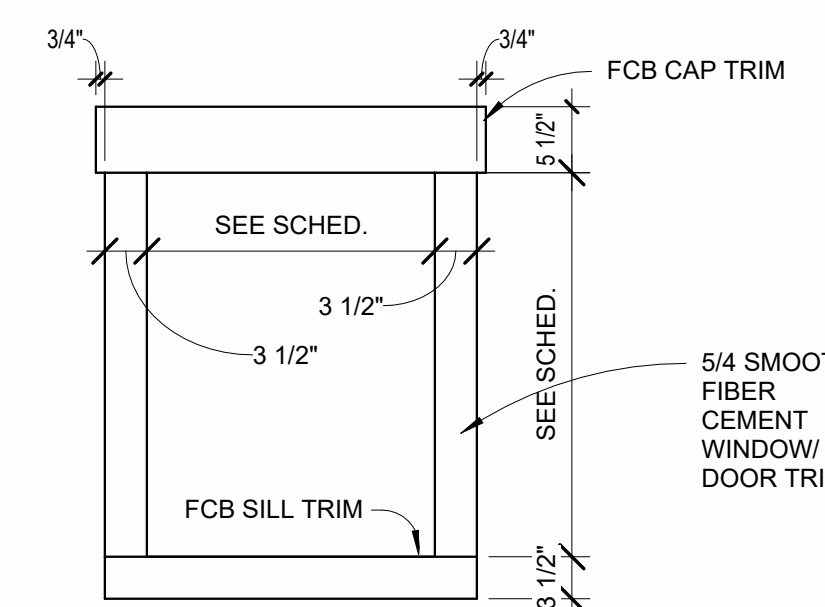


1 RIGHT ELEVATION
1/4" = 1'-0"



2 KING STREET ELEVATION
1/4" = 1'-0"

TYPICAL WINDOW DETAIL



FIBER CEMENT DETAILS
3/4" = 1'-0"

FIBER CEMENT SIDING NOTES:

- FIBER CEMENT SIDING BASIS OF DESIGN TO BE HZ10 SIDING BY JAMES HARDIE
- TRIM BASIS OF DESIGN TO BE SMOOTH TRIM BY JAMES HARDIE
- PROVIDE 1X3 TRIM AT BASE AND TOP OF ALL WALL SECTIONS.
- PROVIDE 1X4 AND 1X5 TRIM AT ALL BUILDING CORNERS FOR EVEN APPEARANCE ON BOTH SIDES.
- PROVIDE FLASHING AT ALL BASE AND PENETRATION CONDITIONS PER MANUFACTURER'S INSTRUCTIONS.
- PROVIDE MANUFACTURER'S REQUIRED CLEARANCES AT GRADE AND PAVEMENT CONDITION AS APPLICABLE.

PHOTOS



Subject Property – Vacant Lot at 2601 Cherry St



Subject Property – 2601 Cherry Street



Cherry Street Looking Northwest (Subject Property on Right)



Cherry Street Looking Southeast (Subject Property on Left)



2623-2625 Cherry Street – Neighboring Property to the Right (Southeast)



King Street – Looking North



King Street – Looking South



Subject Property – Looking from King Street



2600 Millwood Ave
Neighboring Property Along King Street and to the Rear of the Site

EXTERIOR MATERIAL LIST

Roof:

Architectural Asphalt Shingles

Siding:

Hardieplank fiber cement lap siding 8.25"

Windows:

Vinyl, double hung white windows. No grids.

Front Doors:

Craftsman style, 2 panel, fiberglass door. 3 Lite or 6 lite

Rear Doors:

Craftsman style, 2 panel fiberglass door, half lite

Columns:

Fiberglass, hardieboard or pvc

Fence:

6' tall wood privacy fence

Driveway and Parking area:

Concrete or Asphalt